



Residential Building Permits

When is a Building Permit Required?

No person shall commence or continue any construction, alteration, reconstruction, demolition, removal, relocation, excavation or change the occupancy of a building without a building permit.

For example, a building permit **would** be required for:

- ♦ a new single family dwelling;
- ♦ new interior or exterior walls;
- ♦ accessory building; or,
- ♦ exterior cladding changes.

A permit is **not required** for such minor projects relating to

- ♦ building maintenances such as painting, refacing cabinets, replacing flooring, roofing, material or existing windows,
- ♦ landscaping,
- ♦ accessory buildings less than 10 square metres.

If you are unsure about whether a permit is required, please contact the Building Department.

District of Central Saanich
1903 Mt Newton Cross Rd
Saanichton, B.C. V8M 2A9

tel (250) 544-4217

fax (250) 652-4737

www.centralesaanich.ca

Fees

Building Permit fees are based on the following:

- ♦ \$75 (base fee/minimum fee)
- ♦ +1.25% of construction value.

A non-refundable plan processing fee (25% of the permit fee) is required at the time of permit application.

Permits for new construction with drain tiles and roof water pipes, plus new service laterals will be charged a \$100 fee separate from the plumbing fees.

A Surety Deposit may be required of either \$250 or \$500, depending on the construction costs.

In addition to the building permit fees, there may be additional fees relating to plumbing permits and/or engineering fees, such as site servicing, driveway access or tree protection/removal permits.

Permit Information Required

Permit applications require the following:

- Completed building permit application form with the owner's signature ;
- 3 Sets of construction drawings (see examples provided); and,
- 25% of building permit fee for processing.

Additional information *may* be required such as:

- Details of Covenants, Easements or Rights-of-way registered on the Certificate of Title
- Home Protection Office documents (HPO) (new SFD only);
- Vancouver Island Health Authority (VIHA) approval (Septic system and wells)
- Confirmation of Contractor Business Licence
- Driveway Permit (Engineering Department)
- Erosion District/Tree Removal permit (Engineering Department)
- Blasting Permit (Engineering Department)
- Tree Protection Permit (Planning Department)

Your building permit application may be reviewed by the

- ◆ Planning Department;
- ◆ Engineering Department;
- ◆ Building Department;
- ◆ Fire Department; and/or ,
- ◆ Community Services if the building is a Heritage Building.

If additional information is required, in order for staff to complete the necessary plan review, the applicant will be contacted. When the permit is ready and the required fees have been paid, the permit will be issued to the applicant.

During Construction

Inspections

You will receive a building permit package which must be on site for all inspections. Inspection Department shall be notified at least 24 hours before the inspection is required. Any part covered prior to inspection shall be exposed when requested and at owner's expense.

FOOTINGS

FOUNDATION

WATER, SEWER, AND DRAIN PIPE

PERIMETER AND ROOF DRAINAGE SYSTEM

UNDER SLAB PLUMBING

SOLID FUEL BURNING FIREPLACES

MASONRY CHIMNEYS

ROUGH-IN PLUMBING

FRAMING/BUILDING PAPER/RAIN SCREEN/FLASHING

INSULATION AND VAPOUR BARRIER

STUCCO/CULTURED STONE LATH

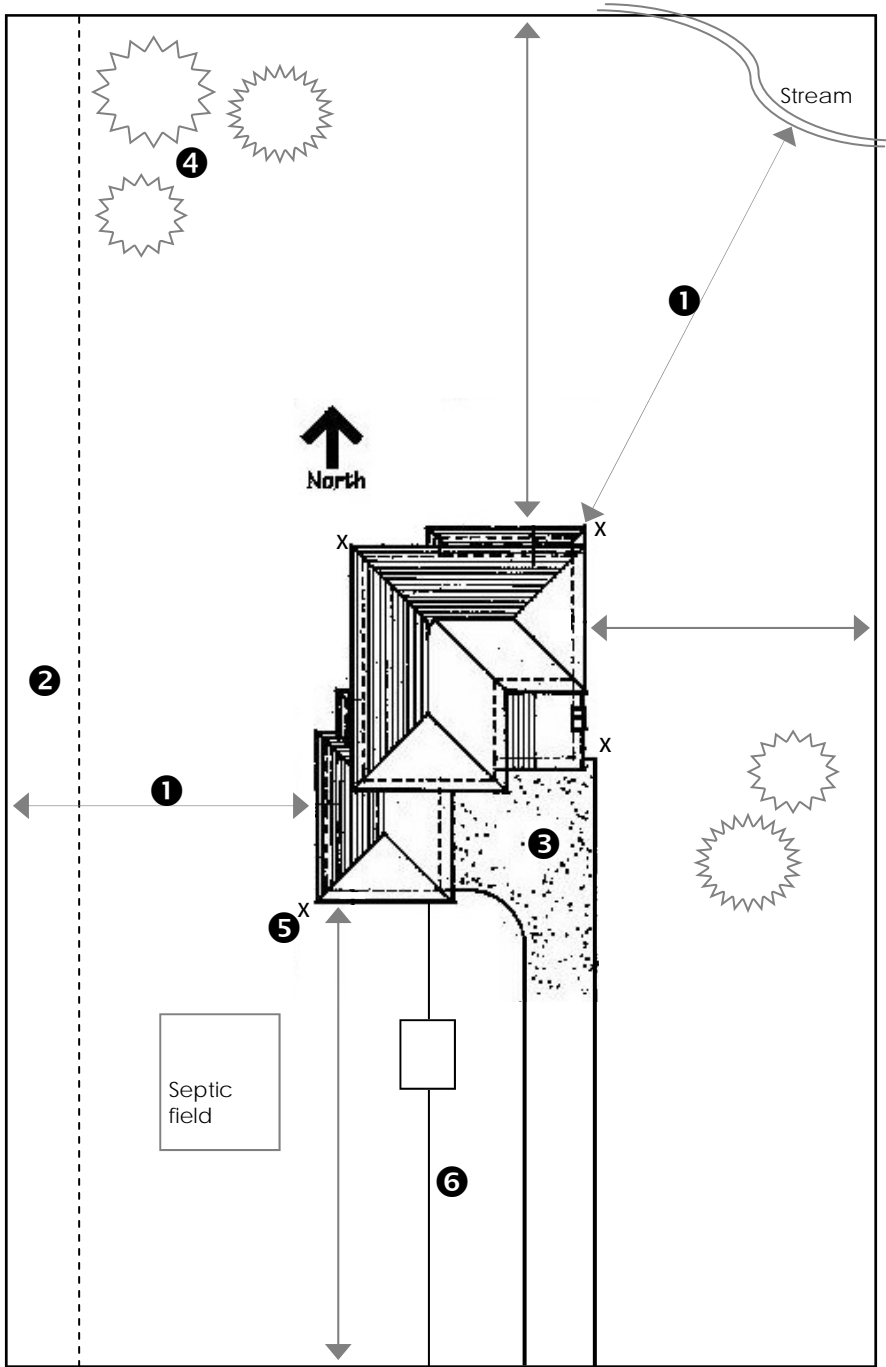
STUCCO BASE COAT

FINAL OCCUPANCY

During construction, you may need to provide for the following:

- Plumbing permit complete with as-builts;
- Completed mechanical ventilation checklist;
- BCLS Survey Certificate for building location (required immediately following the placement of concrete);
- BCLS Survey Certificate confirming building height;
- Professional Engineer's approval for Engineered Products; and,
- Electrical Authorization, Gas Permit number and VIHA final septic approval.

Site Plan

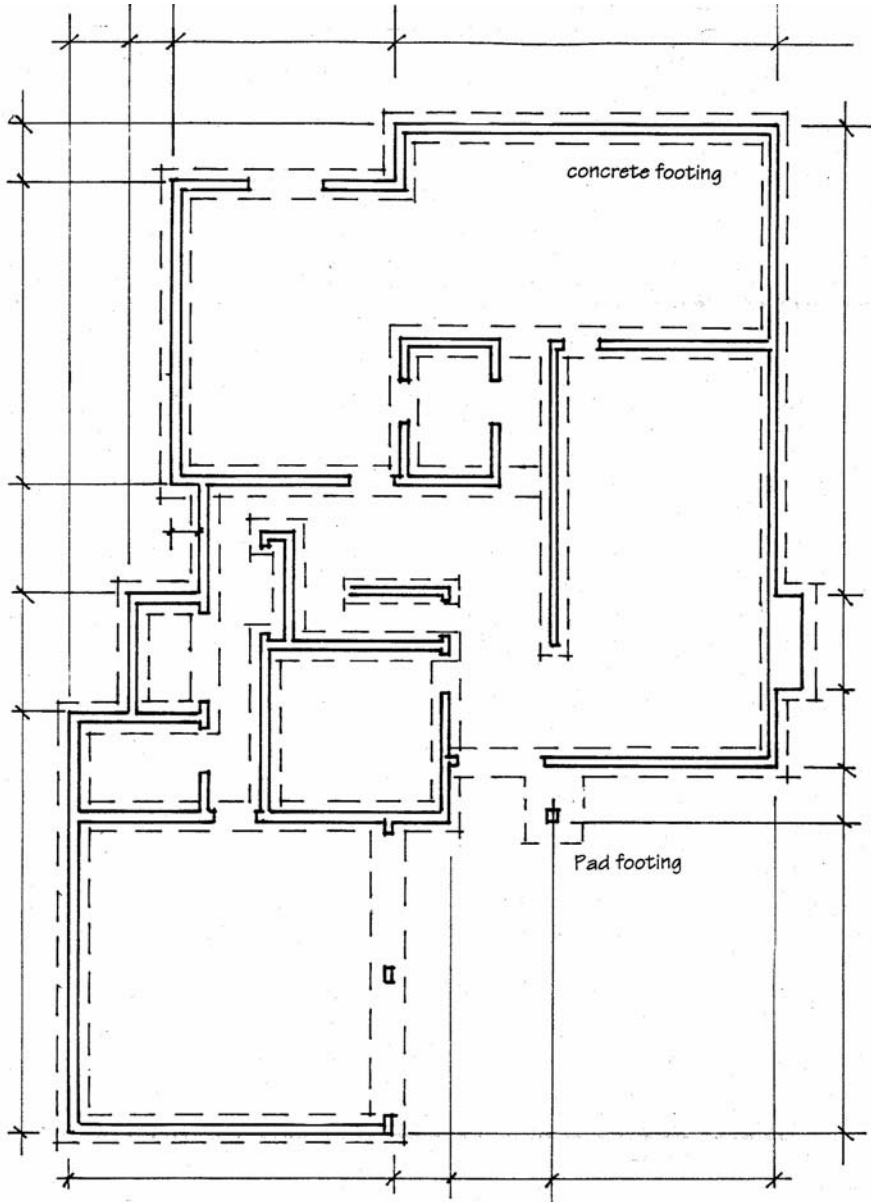


Information Required

- ❶ Setback from building to property lines, other buildings, watercourses etc. (may require confirmation by a BCLS)
 - Development within 30m of watercourse or sea would require a Development Permit
- ❷ Rights-of-ways and Easements to be shown on site plan
 - specific details about the ROW or Easement may be required and are available from the Land Titles Office
- ❸ Parking and Driveway areas, surface materials and gradient
 - provide total areas (m²) of impermeable surfaces
 - new driveways will require a Driveway Permit
 - blasting for driveway/building requires permit
- ❹ Tree locations, existing and remaining, size and species
 - removal of protected trees requires a permit
 - removal of trees located in the Erosion District Area may require a permit (Engineering Department)
- ❺ Existing natural grade and elevations at the outermost corners of the building (may require confirmation by a BCLS)
- ❻ Service laterals approx. location for storm, sewer and water as well as any storm retention system or septic system
 - Impermeable surfaces between 200—400m² require retention of surface water
 - Impermeable surfaces over 400m² require Run-Off Control Plan designed/approved by an Engineer.
 - On site system (rock pit or equiv.) requires P. Eng.
 - Septic system requires approval through VIHA

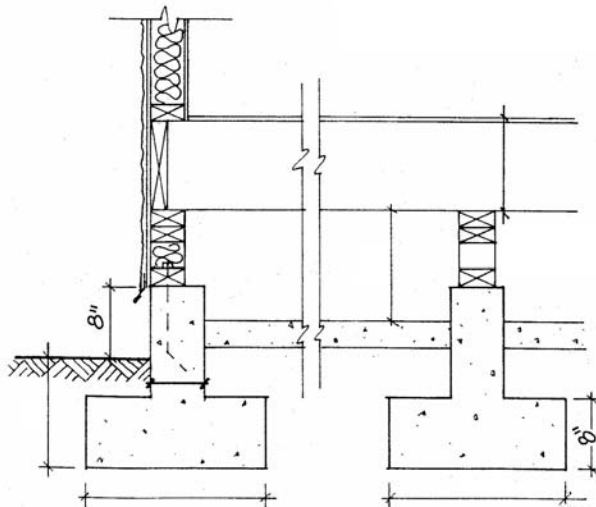
Zoning Data	Permitted	Proposed
Lot Area		
Building Footprint		
Total Floor Areas		
Lot Coverage		
Floor Area Ratio		
Building Height		
Impermeable Area		

Foundation Plan and Details

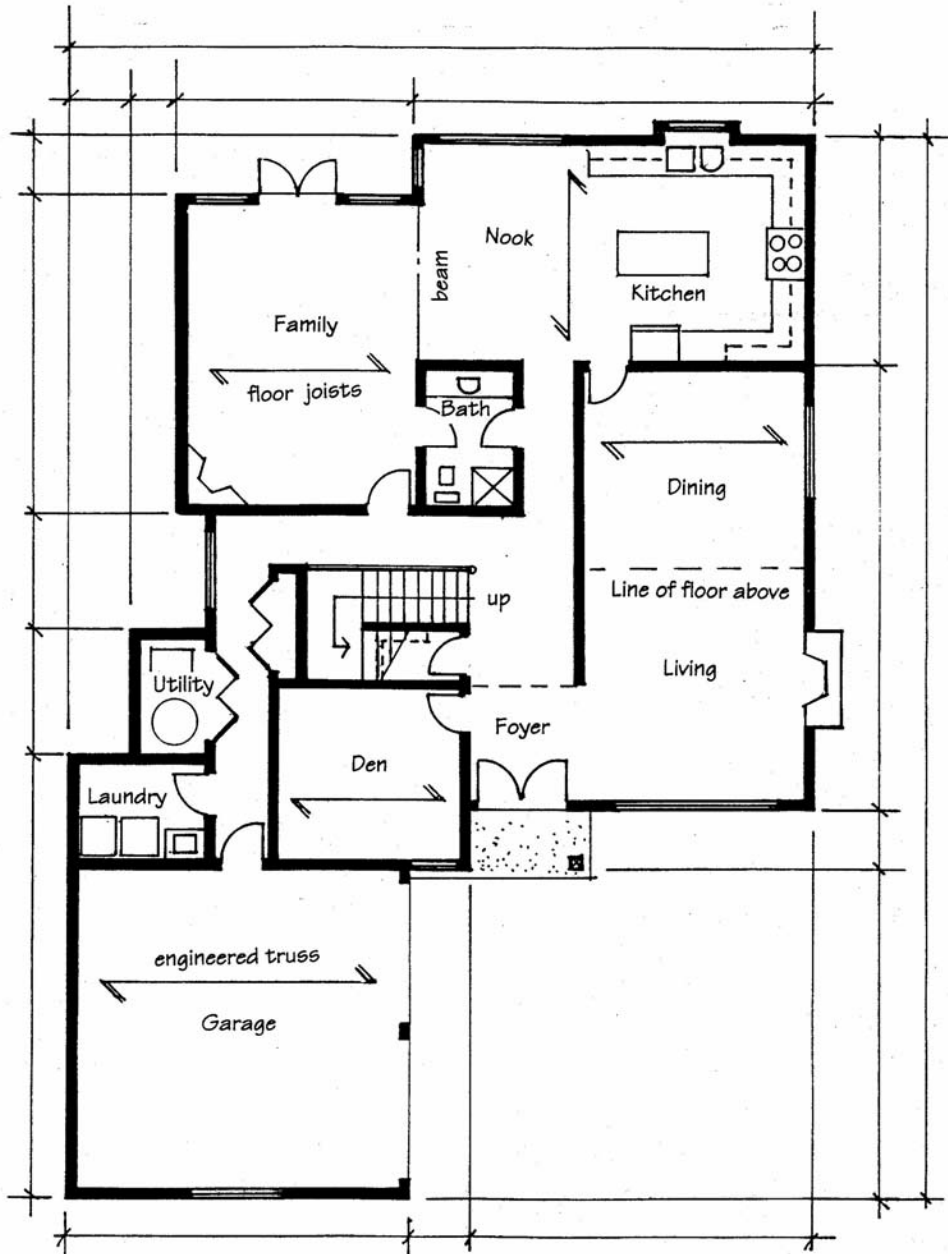


Information Required

- ❑ Dimensioned foundation plan
- ❑ Drawing scale (min. 1:50 metric or 1/4":1'0")
- ❑ Spot/pad footings size
- ❑ Structural floor system design
- ❑ Footing/foundation details
 - Footing depth and size
 - Rebar (if applicable)
 - Foundation size and height



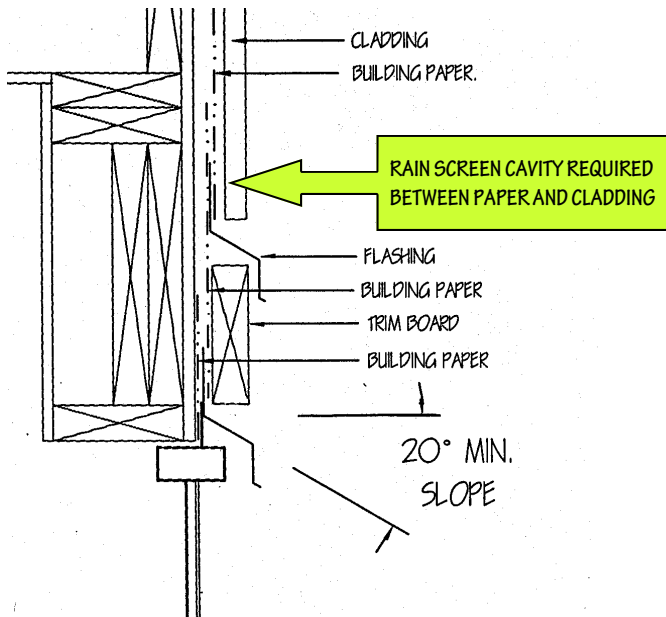
Floor Plans and Details



Information Required

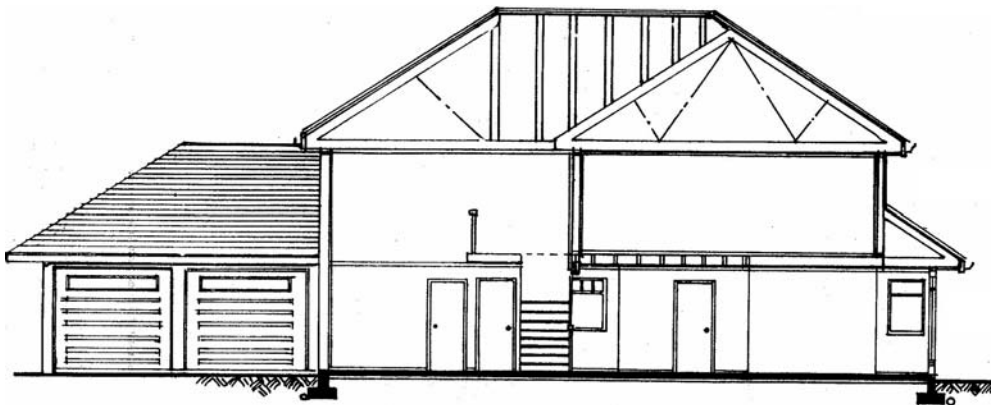
For each level

- ❑ Dimensioned floor plan and total area
- ❑ Drawing scale (min. 1/4" : 1'0")
- ❑ All room uses identified
- ❑ Structural design of floor/roof above including specific framing sizes, species etc.
- ❑ Stair details, including rise, run, handrails and guards
- ❑ Smoke alarm locations
- ❑ Window and door sizes, including egress window opening size
- ❑ Mechanical ventilation design (see Residential Ventilation Guide and Checklist)
- ❑ Crawl space and attic access size/location



Typical Window Flashing Detail

Building Elevations and Sections



Information Required

Elevations

- Show all building faces
- Drawing scale
- Indicate exterior finish
- Flashing locations
- Provide spatial separation calculations (if required)
- Roof slope and materials
- Chimney height
- Window Openings

Sections

- Building height
- Drawing scale (min. 1/4" : 1'0")
- Crawlspace details—height, insulation and ventilation (if applicable)
- Wall construction (framing, sheathing, rain screen etc.)
- Roof construction
- Floor construction

(Separate window flashing detail required—see floor plans for example)

Contacts

Contact numbers below for specific information

Electrical Permits

BC Safety Authority

#310-771 Vernon Ave.—Gateway Village 250-952-4444

Natural Gas Permits

BC Safety Authority

#310-771 Vernon Ave.—Gateway Village 250-952-4444

Plumbing Permits

Building Department—Central Saanich 250-544-4217

Fireplace and Wood-Burning Appliance Permits

Fire Department— Central Saanich 250-544-4226

House Move or Demolition Permits

Building Department— Central Saanich 250-544-4217

Blasting Permits

Engineering Department—Central Saanich 250-544-4210

Potable Water Supply (well) and Septic Fields

Vancouver Island Health Authority (VIHA)

#210-771 Vernon Ave.—Gateway Village 250-519-3401

Land Title Office

#110 - 1321 Blanshard Street 1-877-577-5872

(mailing address #200—1321 Blanshard St.)

This pamphlet is intended for general guidance only. Applicants should consult the District of Central Saanich Land Use Bylaw, Building Bylaw and the British Columbia Building Code for requirements and procedures.

Revised July 2011