

Additional Contacts

Electrical Permits

Technical Safety BC

#310-771 Vernon Ave.—Gateway Village 866-566-7233

Natural Gas Permits

Technical Safety BC

#310-771 Vernon Ave.—Gateway Village 866-566-7233

Plumbing Permits

Building Department—Central Saanich 250-544-4217

Fireplace and Wood-Burning Appliance Permits

Fire Department— Central Saanich 250-544-4238

House Move or Demolition Permits

Engineering/Building Department— Central Saanich 250-544-4217

Blasting Permits

Engineering Department—Central Saanich 250-544-4210

Potable Water Supply (well) and Septic Fields

Island Health (VIHA)

#210-771 Vernon Ave.—Gateway Village 250-519-3401

Land Title Office

#110 - 1321 Blanshard Street 1-877-577-5872

(mailing address #200—1321 Blanshard St.)

This pamphlet is intended for general guidance only. Applicants should consult the District of Central Saanich Land Use Bylaw, Building Bylaw and the British Columbia Building Code for specific requirements and procedures.

Revised October 2019



Residential Building Permits

1903 Mt. Newton Cross Rd. | Saanichton B.C. Canada | V8M 2A9 | 250 544-4217 | centralsaanich.ca

When is a Building Permit Required?

No person shall commence or continue any construction, alteration, reconstruction, demolition, removal, relocation, excavation or change the occupancy of a building without a building permit.

For example, a building permit **would** be required for:

- ♦ a new single family dwelling;
- ♦ new interior or exterior walls;
- ♦ new use in existing spaces;
- ♦ accessory building; or,
- ♦ exterior cladding and window upgrades.

A permit is **not required** for such minor projects relating to

- ♦ building maintenances such as painting, refacing cabinets, replacing flooring, roofing material or existing windows,
- ♦ landscaping,
- ♦ accessory buildings less than 10 square metres.

If you are unsure about whether a permit is required, please contact the Building Department.



Permit Fees

\$150 minimum fee plus 1.3% of Construction Value to \$100,000; 1.2% next \$400,000; and, 1.0% over \$500,000.

A non-refundable plan processing fee is required at time of application.

In addition to the building permit fees, there may be additional fees relating to new draitile or rain water pipes, plumbing permits and/or engineering fees, such as site servicing, driveway access or tree protection/removal permits.

Refundable construction surety deposit are also required:

\$500 on projects up to \$49,999; or **\$1000** on projects \$50,000+.

Permit Information Required

Permit applications require the following:

- Completed building permit application form with the owner's signature ;
- 3 Sets of construction drawings (see examples provided);
- Current Certificate of Title (within 30 days); and,
- 25% of building permit fee for processing.

Additional information *may* be required such as:

- Structural Engineer's sealed design and Schedule B (from B.C . Building Code) for all engineered products, seismic design and structural details (plus Form 2 and insurance certificate)
- Registered Covenants, Easements or Rights-of-way documents
- Home Protection Office documents (HPO) (new SFD only);
- Properties with Septic Systems require approval from P.Eng or ROWP that existing system works with proposed construction OR Island Health (VIHA) acceptance of new or altered system design.
- Confirmation of Contractor Business Licence
- Driveway Permit (Engineering Department)
- Erosion District/Tree Removal permit (Engineering Department)
- Blasting Permit (Engineering Department)
- Tree Protection Permit (Planning Department)
- Development Permit (Planning Department) for work in designated shoreline protection and riparian areas
- Run-off Control Plan detailing surface water management (collection water from roof and paved areas)

Your building permit application will be reviewed by a Building Inspector as well as Planning and Engineering staff.

If the property is listed in the District's Heritage Inventory, a further review may be required, including a referral to the Advisory Planning Commission to assess the project.

If additional information is required, in order for staff to complete the necessary plan review, the applicant will be contacted.

Information Required - Elevations and Sections

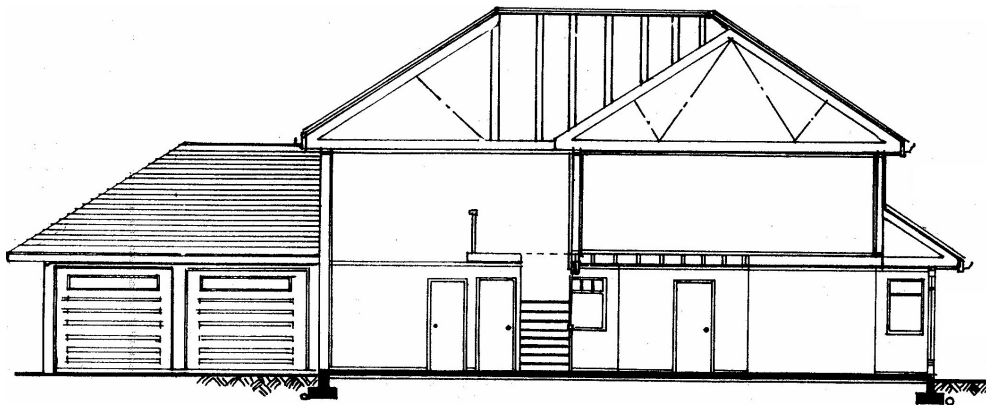
Elevations

- Show all building faces
- Drawing scale
- Indicate exterior finish
- Flashing locations
- Provide spatial separation calculations (if required)
- Roof slope and materials
- Chimney height
- Window Openings

Sections

- Building height
- Drawing scale (min. 1/4" : 1'0")
- Crawlspace details—height, insulation and ventilation (if applicable)
- Wall construction (framing, sheathing, rain screen etc.)
- Seismic design; braced wall panel construction
- Roof construction
- Floor construction
- Effective R-value of all assemblies

(Separate window flashing detail required—see floor plans for example)



Inspections

When the permit is issued, you will receive a building permit package with approved construction plans, which must be on site for all inspections. Inspection Department shall be notified at least 24 hours before the inspection is required. Any part covered prior to inspection shall be exposed when requested and at owner's expense.

FOOTINGS

FOUNDATION

WATER, SEWER, AND DRAIN PIPE

PERIMETER AND ROOF DRAINAGE SYSTEM

UNDER SLAB PLUMBING

SOLID FUEL BURNING FIREPLACES

MASONRY CHIMNEYS

ROUGH-IN PLUMBING

FRAMING/BUILDING PAPER/RAIN SCREEN/FLASHING

INSULATION , AIR BARRIER AND VAPOUR BARRIER

STUCCO/CULTURED STONE LATH

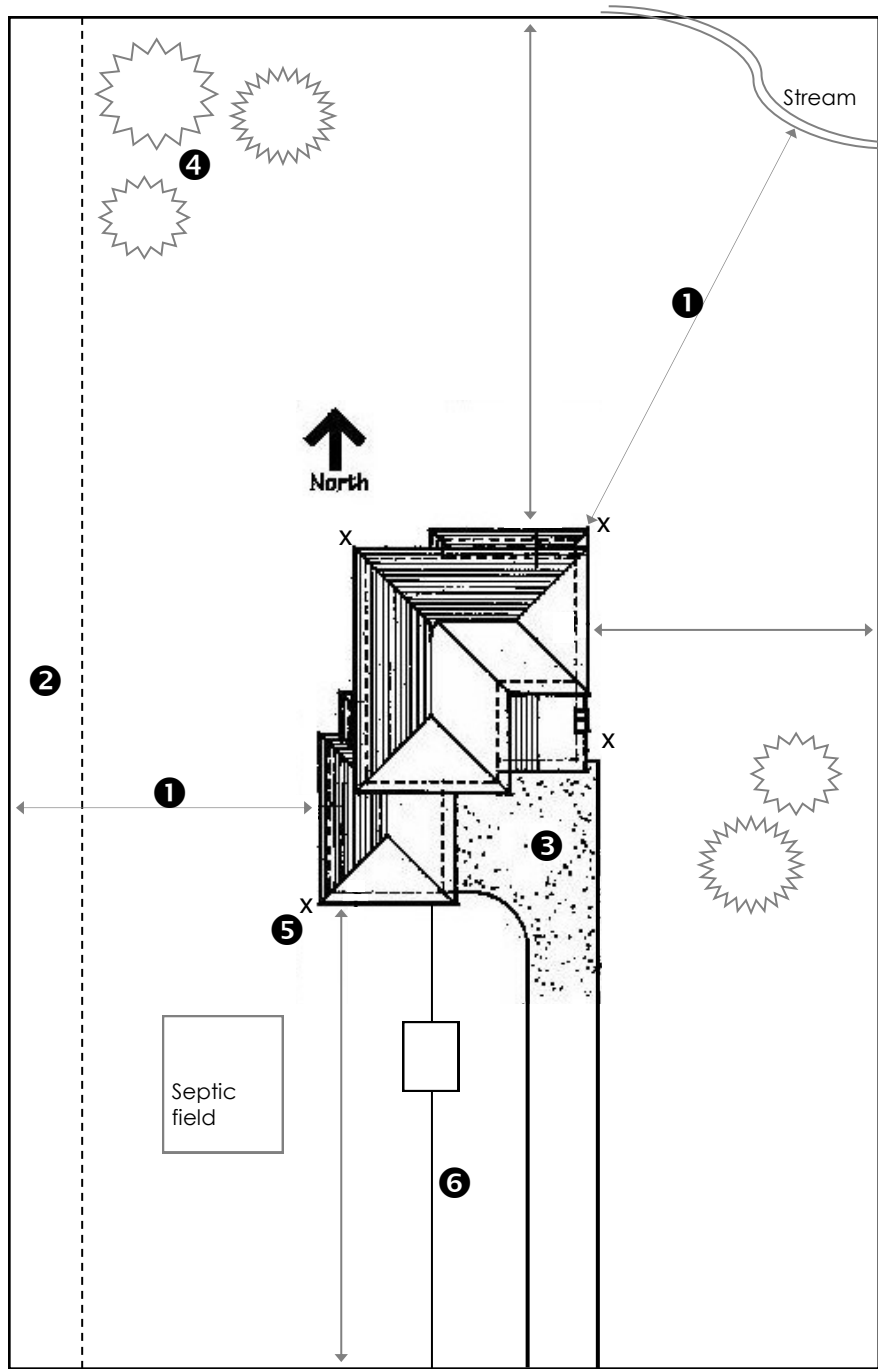
STUCCO BASE COAT

FINAL OCCUPANCY

During construction, you may need to provide for the following:

- Plumbing permit complete with as-builts;
- Completed Energy Efficiency and Ventilation checklist;
- BCLS Survey Certificate for building location (required immediately following the placement of concrete);
- BCLS Survey Certificate confirming building height;
- Professional Engineer's approval for Engineered Products, seismic design and structural details (Schedule C-B); and
- Electrical Authorization, Gas Permit number and VIHA final septic approval.

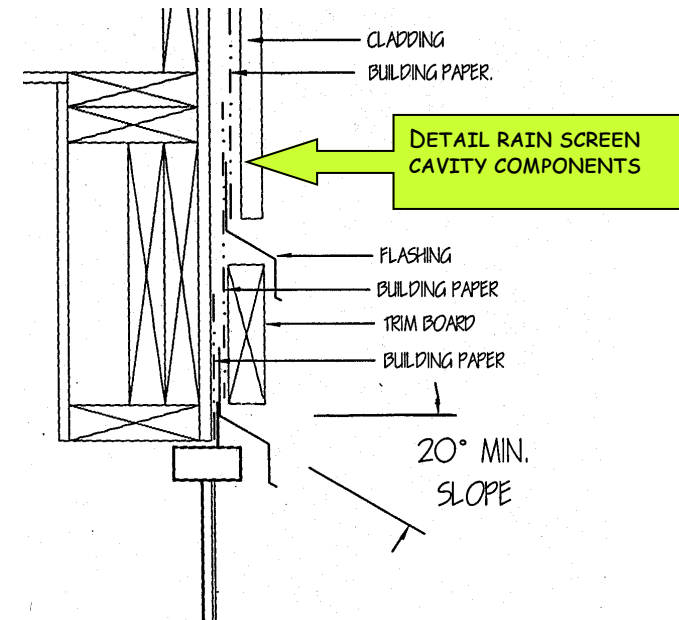
Site Plan



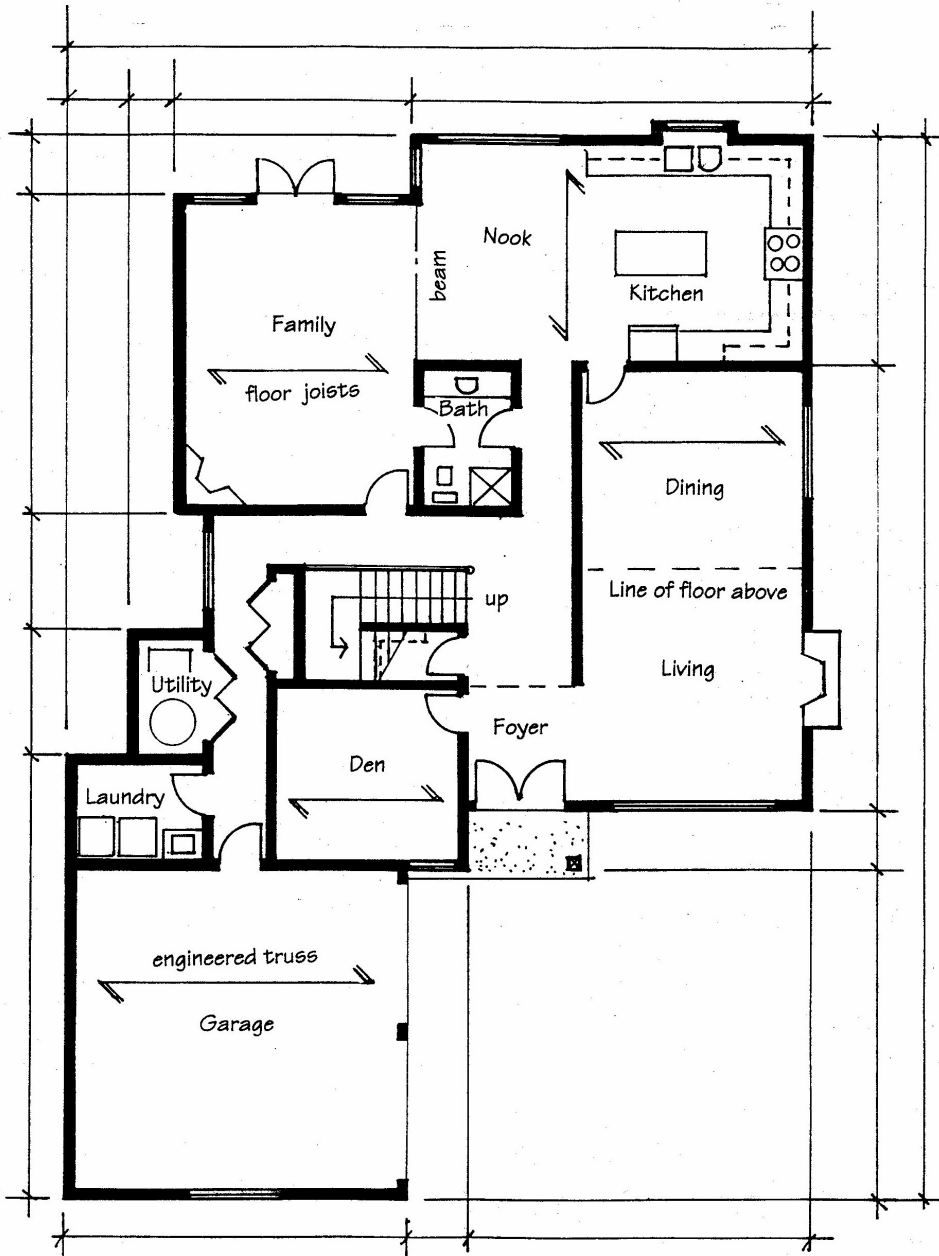
Information Required on the Floor Plans

For each level

- ❑ Dimensioned floor plan and total area
- ❑ Drawing scale (min. 1/4" : 1'0")
- ❑ All room uses identified
- ❑ Structural design of floor/roof above including specific framing sizes, species etc.
- ❑ Seismic design, including braced wall bands and braced wall panels (to Part 9 or P. Eng.)
- ❑ Stair details, including rise, run, handrails and guards
- ❑ Smoke alarm locations
- ❑ Window, door and skylight sizes, U-values, and specifications to NAFS/Canadian supplement.
- ❑ Mechanical ventilation design to 9.32 (amended in December 2014)
- ❑ Crawl space and attic access size/location



Floor Plans and Details

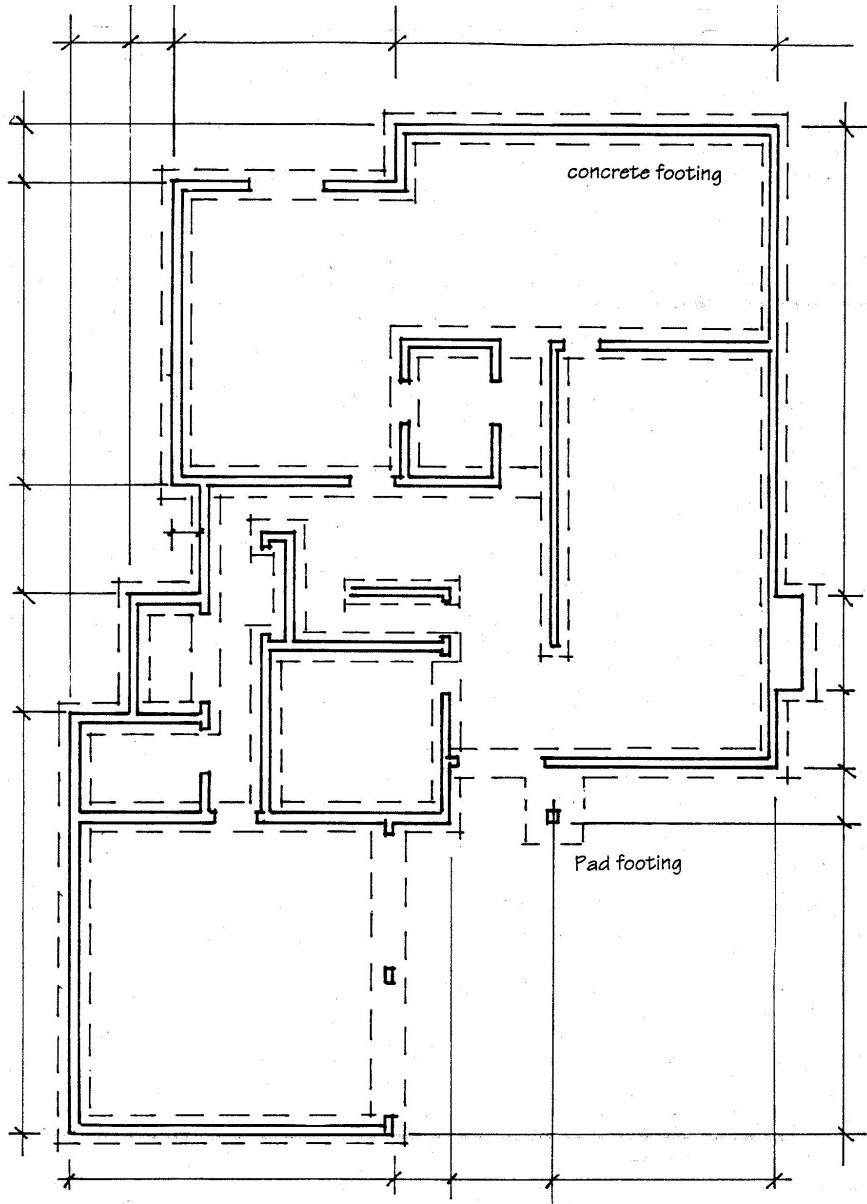


Information Required on the Site Plan

- ❶ Setback from building to property lines, other buildings, watercourses etc. (may require confirmation by a BCLS)
 - Development within 30m of watercourse or sea would require a Development Permit
- ❷ Rights-of-ways and Easements to be shown on site plan
 - specific details about the ROW or Easement may be required and are available from the Land Titles Office
- ❸ Parking and Driveway areas, surface materials and gradient
 - provide total areas (m²) of impermeable surfaces
 - new driveways will require a Driveway Permit
 - blasting for driveway/building requires permit
- ❹ Tree locations, existing and remaining, size and species
 - removal of protected trees requires a permit
 - removal of trees located in the Erosion District Area may require a permit (Engineering Department)
- ❺ Existing natural grade and elevations at the outermost corners of the building (may require confirmation by a BCLS)
- ❻ Service laterals approx. location for storm, sewer and water as well as any storm retention system or septic system
 - Impermeable surfaces between 200—400m² require retention of surface water
 - Impermeable surfaces over 400m² require Run-Off Control Plan designed/approved by an Engineer.
 - On site system (rock pit or equiv.) requires P. Eng.
 - Septic system requires filing with VIHA

Zoning Data	Permitted	Proposed
Lot Area		
Building Footprint		
Total Floor Areas		
Lot Coverage		
Floor Area Ratio		
Building Height		
Impermeable Area		

Foundation Plan and Details



Information Required on the Foundation Plan

- ❑ Dimensioned foundation plan
- ❑ Drawing scale (min. 1:50 metric or 1/4":1'0")
- ❑ Spot/pad footings size
- ❑ Structural floor system design
- ❑ Footing/foundation details
 - Footing depth and size
 - Rebar (if applicable)
 - Foundation size and height

