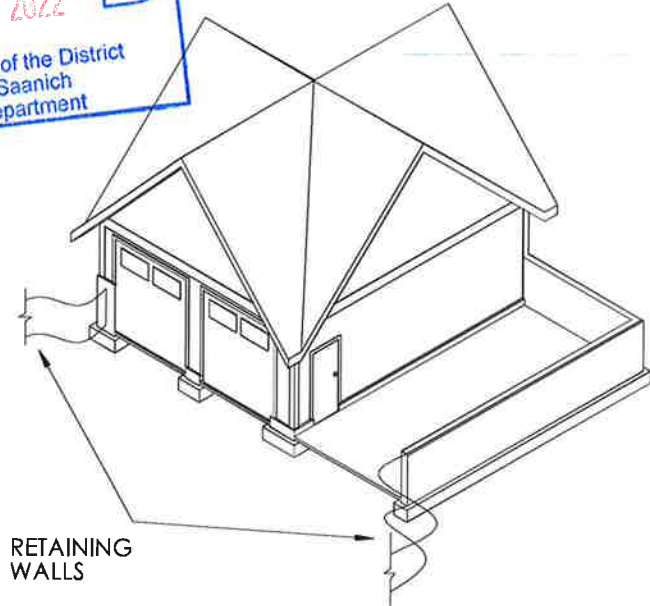


RECEIVED
 APR 12 2022
 The Corporation of the District
 of Central Saanich
 Planning Department



PROPOSED DETACHED GARAGE
 WEST ELEVATION

SITE NOTES:

- Site plan dimensions shown in metric
- Owner and contractor to confirm final grades on site
- Expose and confirm location of all U/G services prior to construction

GENERAL NOTES:

- All work shall conform to the BC Building Code and local bylaw
- Material to comply with applicable sections of CSA, CGSB, and BCBC installation and use in compliance with MFG specifications
- Dimensions on drawings take precedence over scale
- Contractor to confirm all dimensions of design and inform Owner of any discrepancies

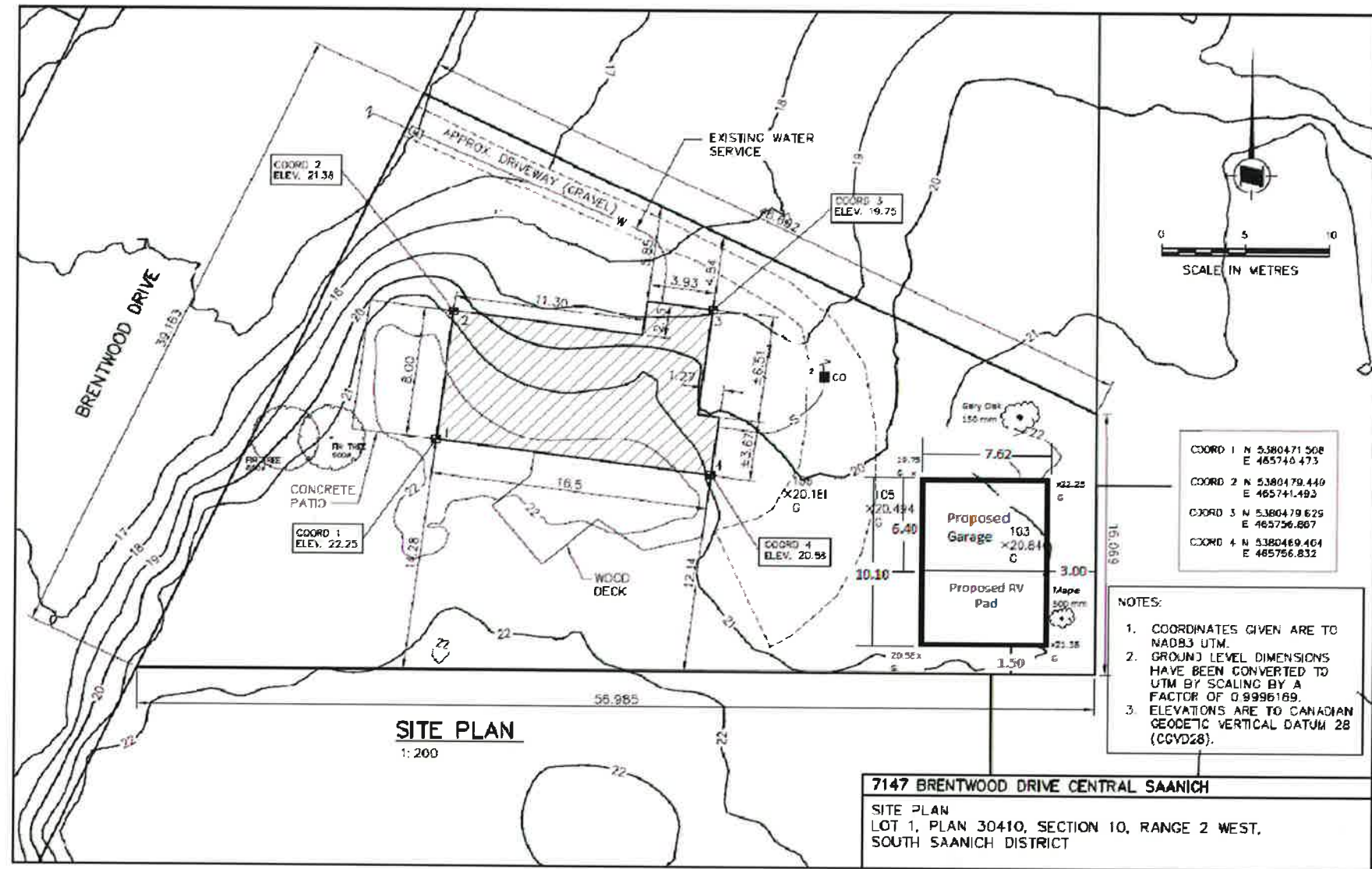
STRUCTURAL NOTES:

- Structural is based on criteria stated in Part 9 of the BC Building Code
- Snow Load $S_s = 2.1$ kPa (43.9 psf), $S_r = 0.2$ kPa (4.2 psf)
- Live load 1.9 kPa (40 PSF) floors, 0.5 kPa (10 PSF) for attics with limited access
- Minimum post size 6" x 6"

ROUGH CARPENTRY:

- Framing lumber shall be No. 2 or better douglas fir unless otherwise specified on plan
- Joists are to be double under parallel partitions
- All headers and trimmers to comply with BCBC 9.23.
- Joist blocking required at midspan or 7 ft o.c. maximum
- Wood in contact with concrete to be damproofed with 45 lb felt or a sill plate gasket or approved alternate
- Walls and columns anchored to the foundation to comply with BCBC 9.23.6.
- Foundation to be below frost level or 18" minimum

7147 BRENTWOOD DRIVE - DETACHED GARAGE & RV PAD



COORDINATES:
 COORD 1 N 5380471.508 E 465746.473
 COORD 2 N 5380479.449 E 465741.493
 COORD 3 N 5380479.625 E 465756.667
 COORD 4 N 5380469.404 E 465756.832

NOTES:
 1. COORDINATES GIVEN ARE TO NAD83 UTM.
 2. GROUND LEVEL DIMENSIONS HAVE BEEN CONVERTED TO UTM BY SCALING BY A FACTOR OF 0.9996169.
 3. ELEVATIONS ARE TO CANADIAN GEODETIC VERTICAL DATUM 28 (CGVD28).

LOT INFORMATION:

Civic Address: 7147 Brentwood Drive
 Zoning: R-2 Residential
 Total Lot Area: 1,332.6 SQMT (14,344 SQFT)
 Primary Residence Footprint: 139.9 SQMT (1,505.9 SQFT)
 Primary Residence Floor Area: 371.8 SQMT (4,001.7 SQFT)
 Proposed Garage Floor Area: 48 SQMT (516.7 SQFT)
 Allowable Total Lot Coverage: 30 % (4,303.2 SQFT)
 Total Lot Coverage: 14 % (2,022.5 SQFT)
 Allowable Garage Height: 3.5 Meter
 Proposed Garage Height: 3.45 Meter

NATURAL GRADE CALCULATION:

NW Pt. Grade: 19.75 meter
 NE Pt. Grade: 22.25 meter
 SW Pt. Grade: 20.58 meter
 SE Pt. Grade: 21.38 meter
 Natural Grade: 20.99 meter

ELEVATIONS:

Garage Floor Finished Grade: 19.80 meter
 Roof MidPoint: 24.46 meter

DRAWING INDEX:

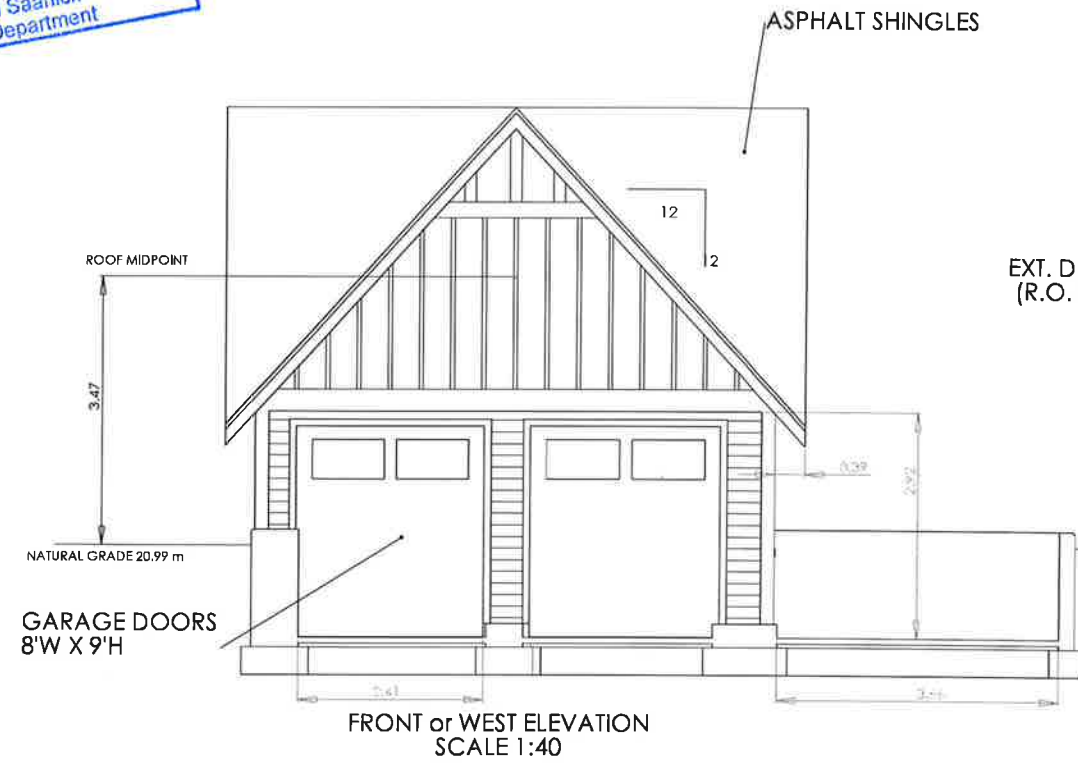
- A1.1 Site Plan & Project Synopsis
- A1.2 Elevations & Exterior Finishes
- A1.3 Roof, Ceiling and Sections
- A1.4 Foundation Plan & Servicing
- A1.5 Existing Site Pictures

BASED ON THE INFORMATION PROVIDED TO THE DESIGNER AND THE DESIGNER'S VISUAL INSPECTION OF THE SITE. THE DESIGNER HAS NOT CONDUCTED A SURVEY OF THE SITE AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE DESIGNER OR THE DESIGNER'S VISUAL INSPECTION OF THE SITE.

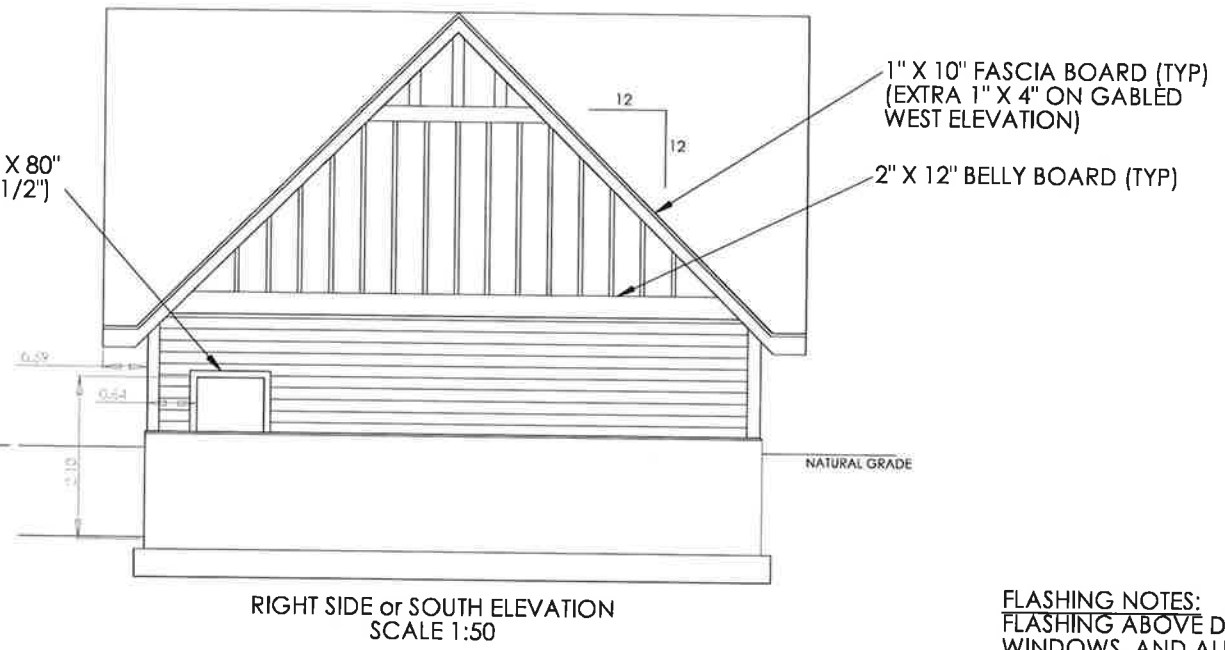
DATE	REVISION	DESCRIPTION	BY	CHKD	DATE
JAN 2022	A	PRELIMINARY PLAN	SM	BA	JAN 22
FEB 2022	B	REVISED	SM	BA	
APR 2022	C	FINAL	SM	BA	

7147 BRENTWOOD DR - DETACHED GARAGE
 TITLE: SITE PLAN PROJECT SYNOPSIS
 SHEET NO. A1.1
 SCALE: WEIGHT: SHEET 1 OF 4

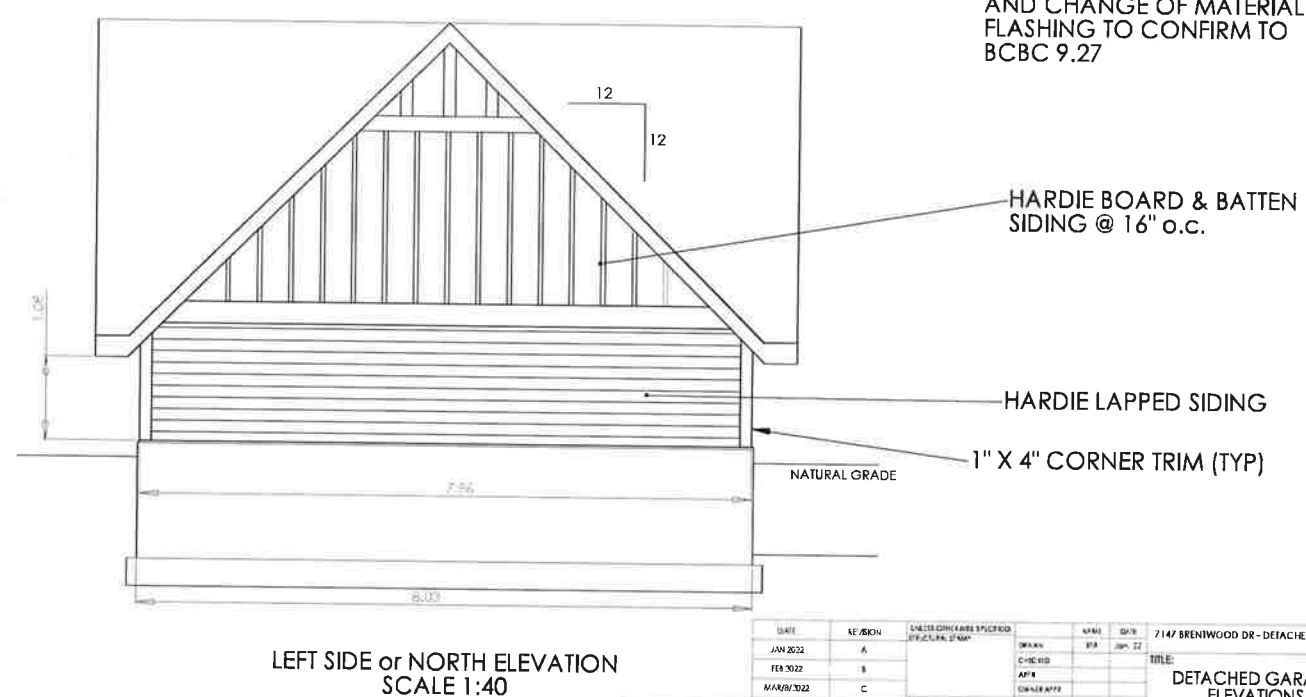
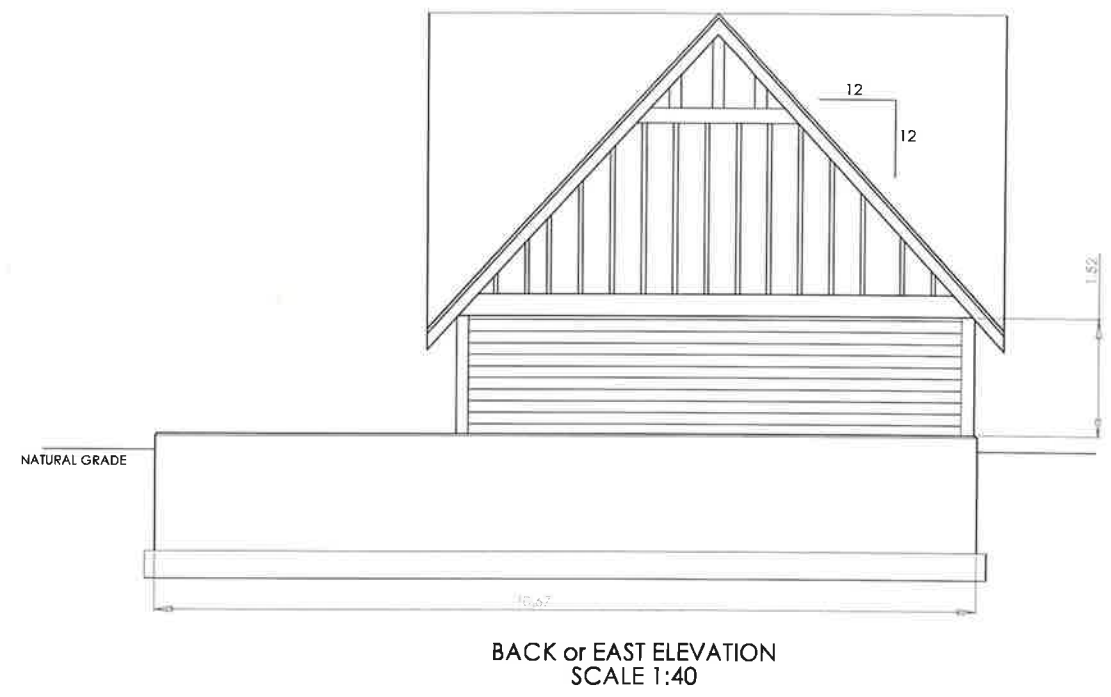
RECEIVED
 APR 12 2022
 The Corporation of the District
 of Central Saanich
 Planning Department



EXT. DOOR 32" X 80"
 (R.O. 34" X 82 1/2")



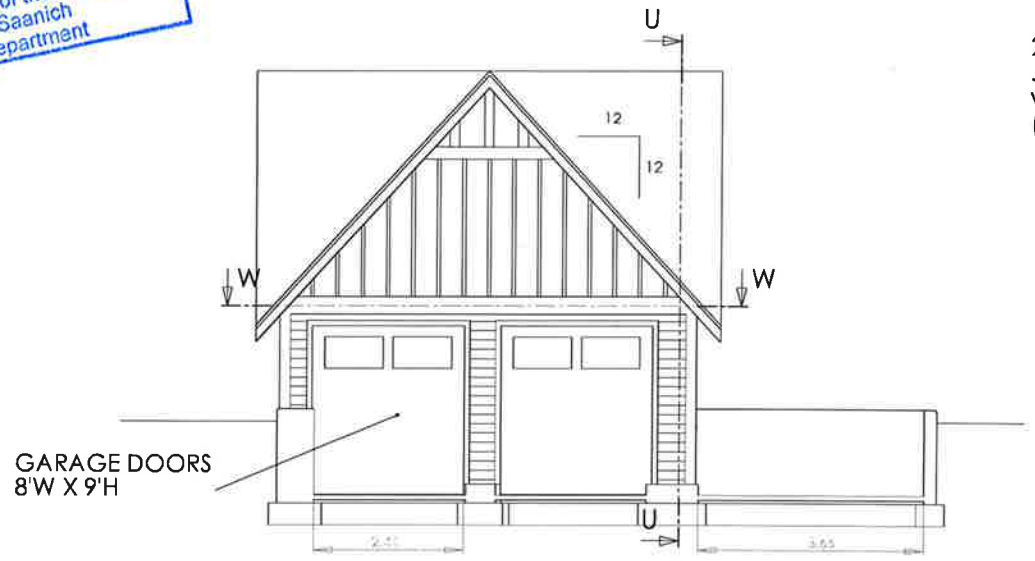
FLASHING NOTES:
 FLASHING ABOVE DOORS,
 WINDOWS, AND ALL EXTERIOR
 INTERSECTIONS, OPENINGS
 AND CHANGE OF MATERIAL
 FLASHING TO CONFIRM TO
 BCBC 9.27



DATE	REVISION	DESIGNER/DATE CHECKED	DATE	DATE	TITLE
JAN 2022	A	DR/KA	STA	01/22	7147 BRENNWOOD DR - DETACHED GARAGE
FEB 2022	B	CHE/ED			DETACHED GARAGE ELEVATIONS
MAR/2022	C	AP/KA			

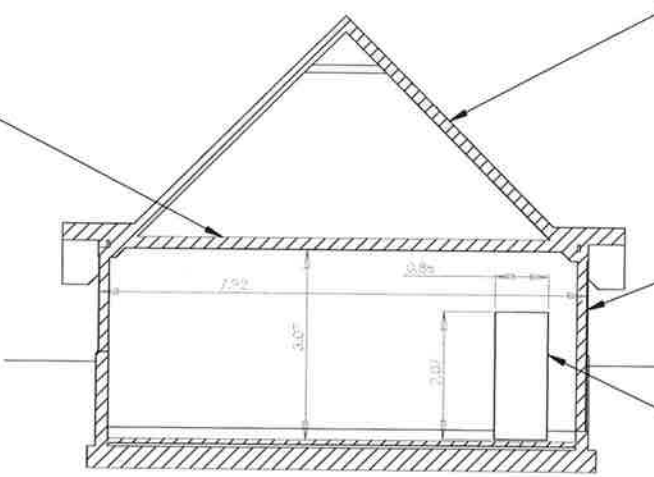
NUMBER OF SHEETS: 4 SHEET NO.: 2 OF 4 DRAWING NO.: A1.2 SCALE: 1/8" = 1'-0"	PROJECT NO.: PROJECT NAME: PROJECT LOCATION: PROJECT CLIENT: PROJECT ARCHITECT: PROJECT ENGINEER:	SHEET NO.: 2 OF 4 DRAWING NO.: A1.2 SCALE: 1/8" = 1'-0"
--	--	---

RECEIVED
 APR 17 2022
 The Corporation of the District
 of Central Saanich
 Planning Department



FRONT OR WEST ELEVATION
 SCALE 1:50

2" X 8" CEILING
 JOISTS @ 16" o.c.
 w/ BRIDGING
 (TYP)



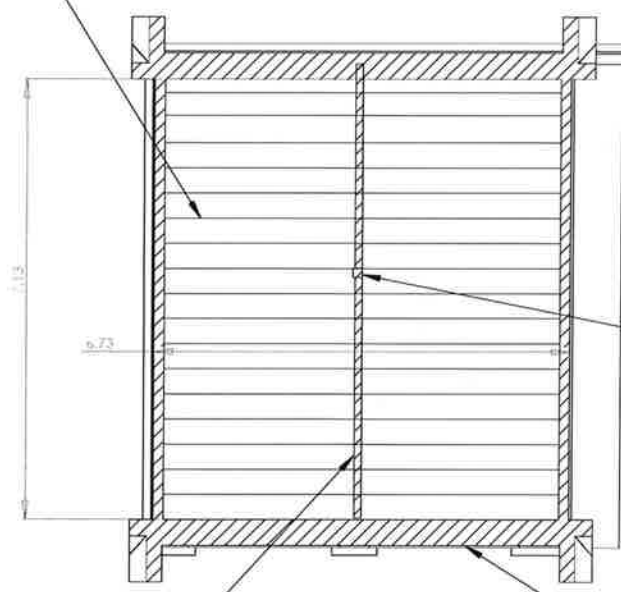
SECTION U-U
 SCALE 1:50

ROOF ASSEMBLY:
 FIBERGLASS SHINGLES
 ROOF UNDERLAYMENT
 1/2" PLYWOOD SHEATHING w/ SUPPORTED EDGES
 2" X 8" RAFTERS @ 16"
 RAFTER TIES @ 32" o.c.
 ROOF AND SOFFIT VENTING AS PER BCBC 9.19

WALL ASSEMBLY:
 HARDIE BOARD LAPPED SIDING
 2-LAYERS BUILDING PAPER
 1/2" PLYWOOD SHEATHING
 2" X 6" STUDS @ 16" o.c.

EXTERIOR DOOR 32" X 80"
 (R.O. 34" X 82 1/2")

2" X 8" CEILING
 JOISTS @ 16" o.c.
 w/ BRIDGING
 (TYP)



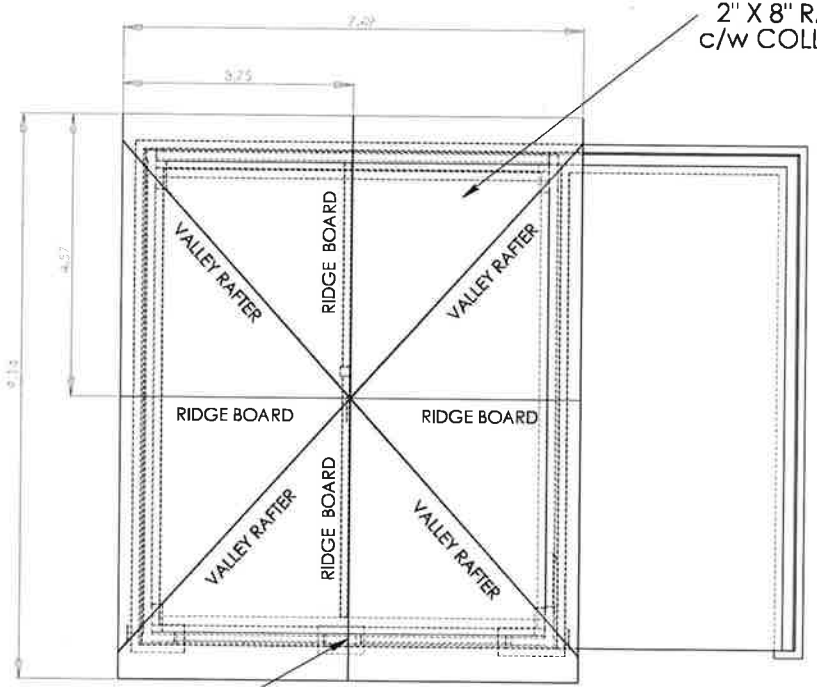
SECTION W-W
 SCALE 1:50

3 - 2" X 10" BUILT UP
 BEAM (TYP)

6" X 6"
 POST

GARAGE DOOR HEADER
 2 - 2" X 10" (TYP)

2" X 10" RIDGE
 BOARD (TYP)



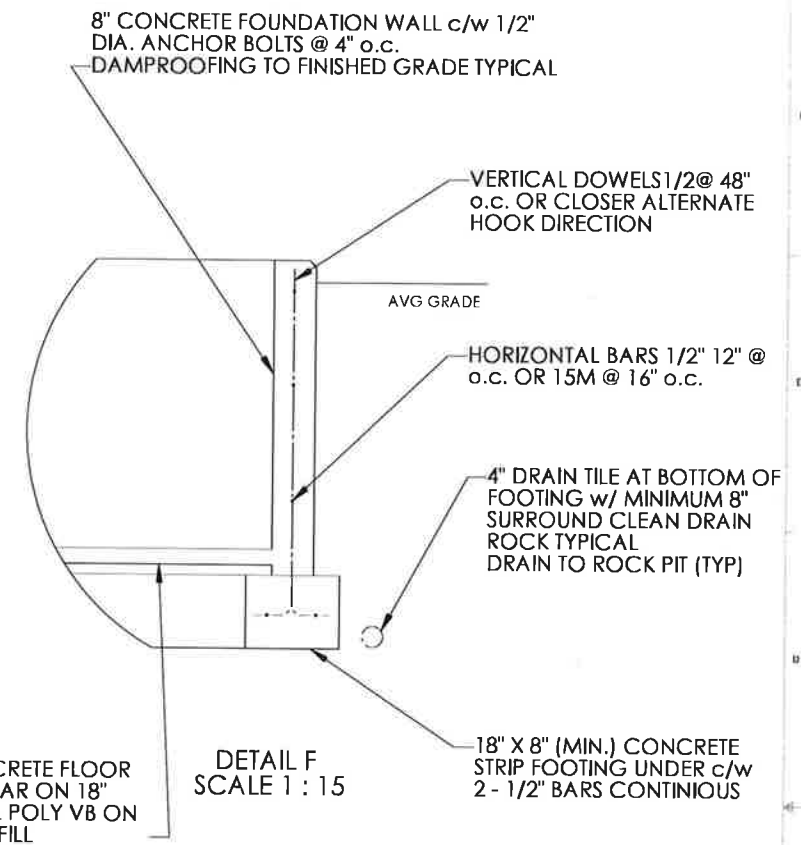
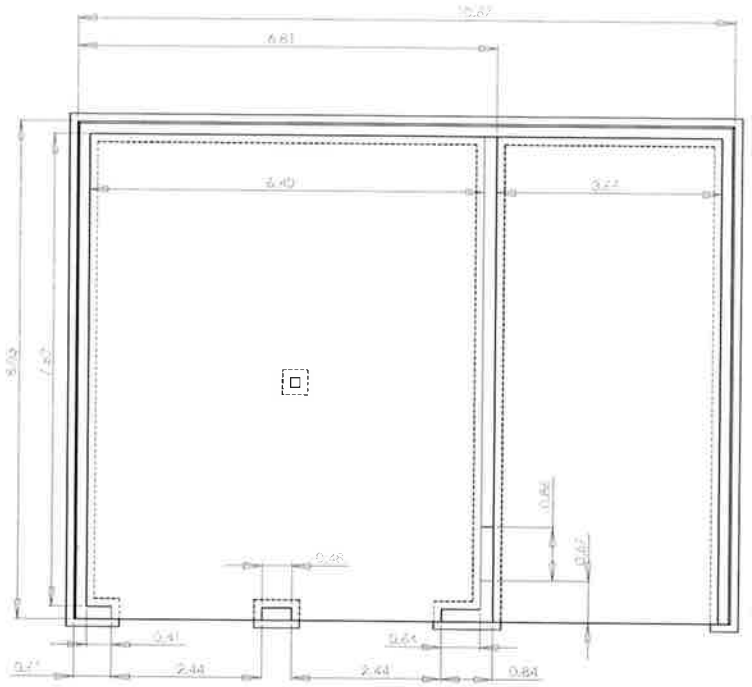
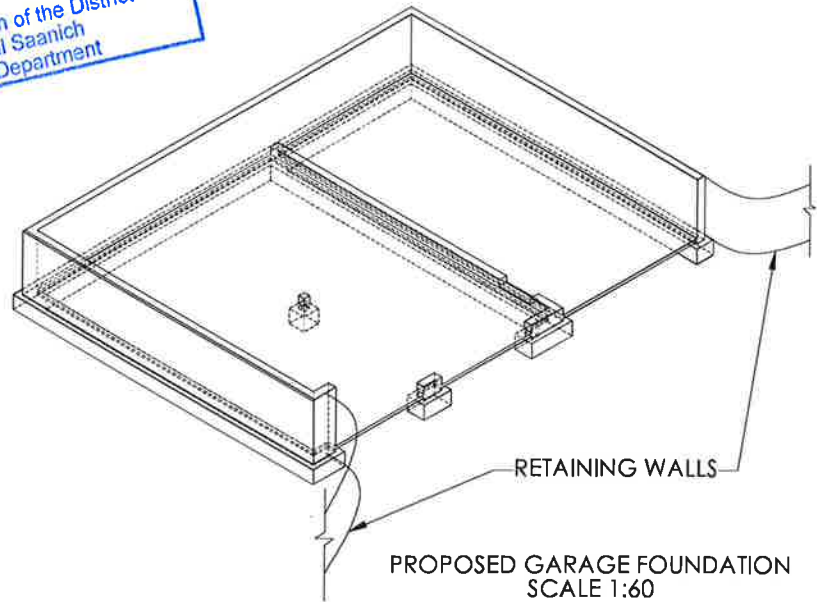
ROOF PLAN
 SCALE 1:50

2" X 8" RAFTERS @ 16 o.c.
 c/w COLLAR TIES @ 32" o.c.
 (TYP)

DATE	BY	REVISION	DATE	BY	REVISION
JAN 2022	A	STRUCTURAL PLAN			
FEB 2022	B	CHECKED			
MARCH 2022	C	APPROVED			

NUMBER OF SHEETS: 4 SHEET NO.: 1 PROJECT NO.: 7147 BRENNWOOD DR - DETACHED GARAGE	TITLE: ROOF PLAN & PLAN & GARAGE SECTION
SHEET NO.: A1.3	REV: C
SCALE: 1/8" = 1'-0"	SHEET 2 OF 4

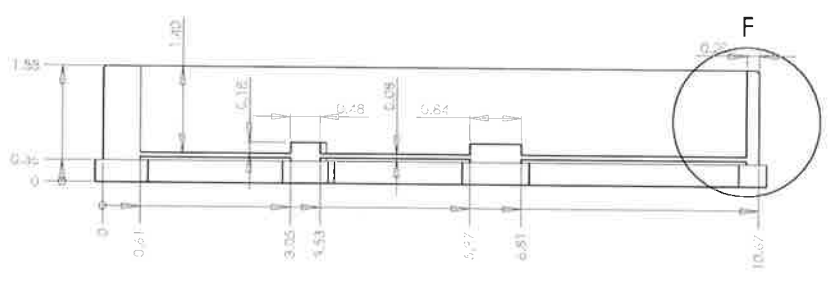
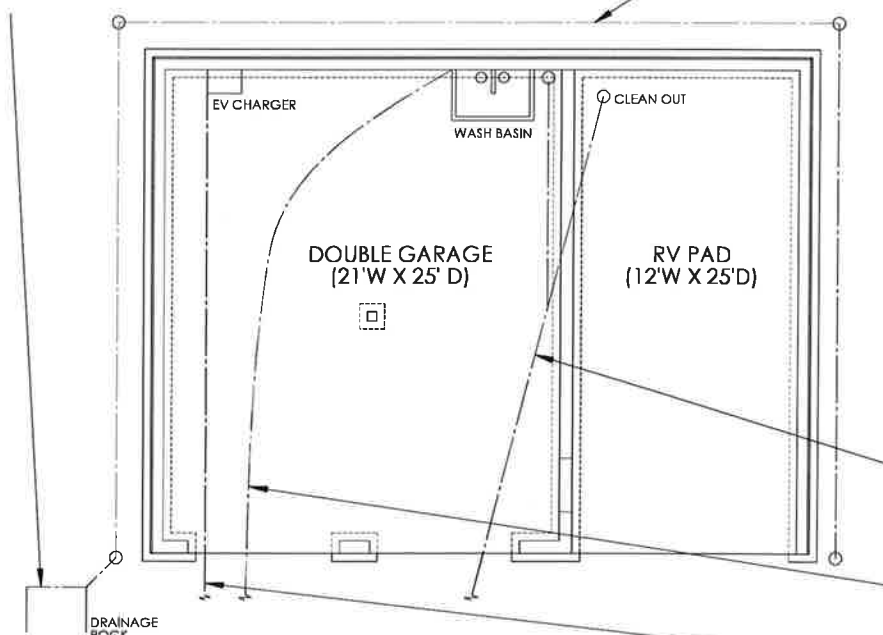
RECEIVED
 APR 12 2022
 The Corporation of the District
 of Central Saanich
 Planning Department



ROCK DRAINAGE PIT:
 -0.6 m DEEP EXCAVATION (3' x 4' IN AREA)
 -MIN. 0.5 m CLEAR DRAIN ROCK (3/4")
 -WRAPPED IN FILTER CLOTH w/ MIN. 6" GRAVEL TOPPING
 -PERFORATED 4" PIPE THROUGHOUT WRAPPED

4" PERIMETER DRAIN TILE

3" (MIN) CONCRETE FLOOR SLAB W/ 3/8" BAR ON 18" GRID ON 6 MIL POLY VB ON 6" GRANULAR FILL



SEWER SERVICE 4" dia. c/w CLEANOUT AND VENT

WATER SERVICE 1/2" DIAMETER

UNDERGROUND ELECTRICAL SERVICE

CONCRETE NOTES:
 ALL CONCRETE WORK SHALL CONFORM TO CSA-A23 CEMENT SHALL BE PORTLAND CEMENT TYPE 10 SLUMP NOT TO EXCEED 3", AGGREGATE SIZE NOT TO EXCEED 3/4", AND 28 DAY STRENGTH 28 MPa

FOUNDATION NOTES:
 ALL FOOTINGS MUST BE BURIED AT LEAST 18" BELOW FINISHED GRADE
 ALL EXTERIOR FOUNDATION ELEMENTS MUST EXTEND AT LEAST 6" ABOVE FINISHED GRADE

REINFORCING NOTES:
 REINFORCEMENT SHALL BE BILLET STEEL CONFORMING TO CAS G30-18.09
 ALL WALL REINFORCEMENT SHALL BE CONTINUOUS WITH HOOKS OR CORNER BARS USED AT ALL WALL JUNCTIONS, EXTEND HOOKS TO FAR FACE OF WALL, CORNER BARS TO BE LOCATED ON OUTSIDE FACE OR CENTER OF WALL

DATE	REV	DESCRIPTION	BY	CHKD	DATE
JAN 2022	A	ISSUE FOR PERMIT	DRW	STA	JAN 22
FEB 2022	B	REVISED PER COMMENTS	CHKD	STA	
MARCH 2022	C	FINAL APPROVAL	CHKD	STA	

7147 BRENTWOOD DR - DETACHED GARAGE	
TITLE: FOUNDATION PLAN & SERVICING	
SHEET NO. D	REV C
SCALE: 1:50	DATE: 2022
SHEET 2 OF 4	

