

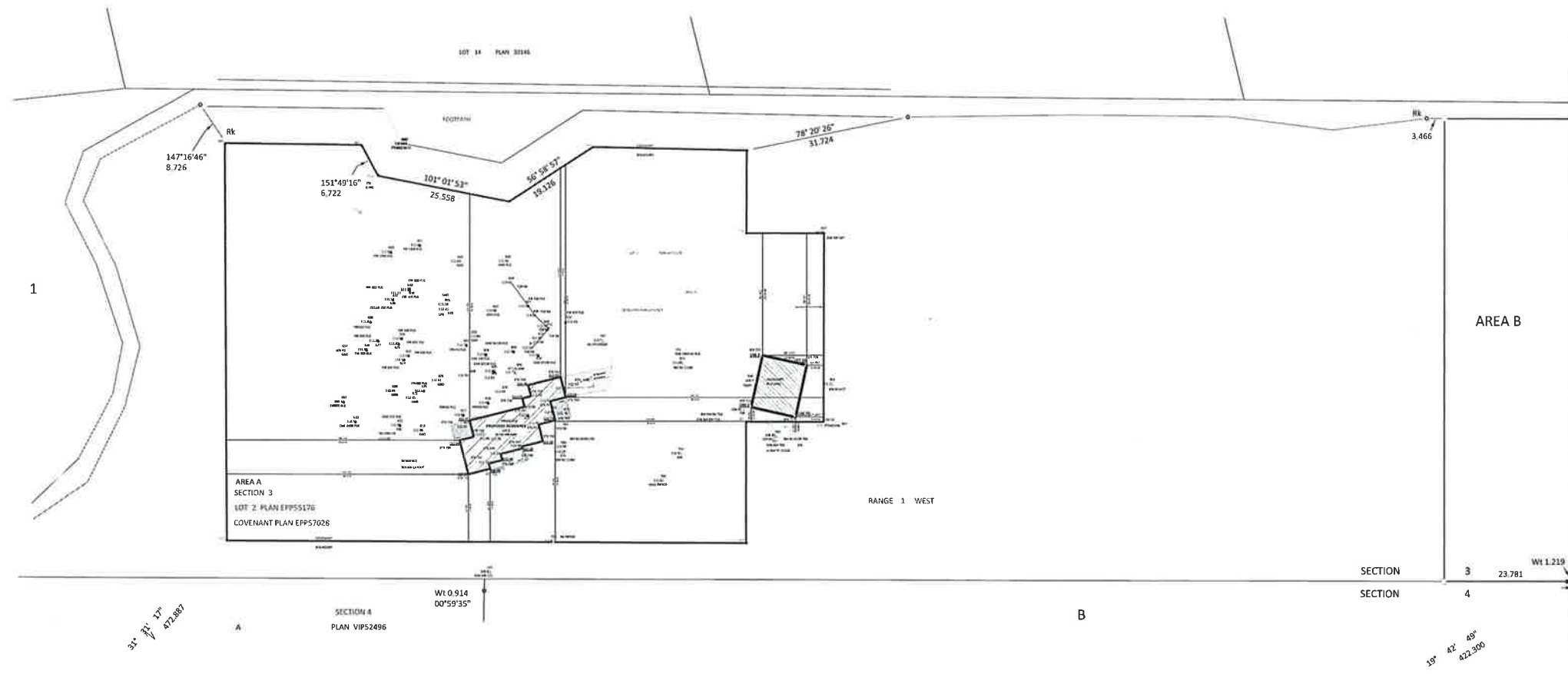
BC Land Surveyors

8055 Thompson Place

Legal - Lot 2, Sections 3 & 4, Range 1 West,
South Saanich District, Plan EPP55176

Geometric Elevations shown in (in meters) x 1.0833

Site Area = Area A .777 ha

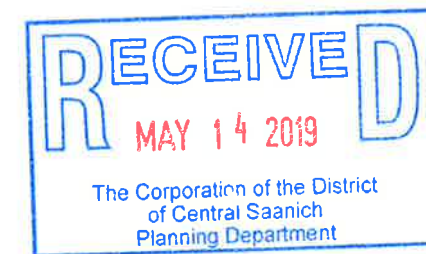


SITE PLAN

scale: 1:500

TOTAL FLOOR AREA

FOR ACCESSORY BUILDING : 1922.22 SqFt



Plans designed for 'Carriage House'

ADDITIONAL NOTES

ANY DEVIATIONS FROM THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR
DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR WALLS AND FOUNDATION WALLS TO BE FLUSH.

ALL WINDOWS TO BE THERMO SEALED DOUBLE PANE.
ALL WINDOWS MUST COMPLY WITH BCBC AND NAPS REQUIREMENTS
MUST BE CLEARLY LABELLED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.

ALL ELECTRICAL PENETRATIONS IN EXTERIOR WALLS MUST BE AIRTIGHT BY SEALING THEM TO THE POLY V.B.
RECESSED POT LIGHT HOUSING MUST BE SEALED TO POLY V.B.
PLUMBING VENT STACK PIPES MUST BE MADE AIRTIGHT BY SEALING THE AIR BARRIER TO VENT STACK WITH COMPATIBLE MATERIAL, SHEATHING TAPE, OR A RUBBER GASKET AT THE CEILING.

FLOOR JOISTS AND BEAMS TO BE DESIGNED BY OTHERS
ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPEC'S.
ALL LINTELS TO BE 2-2x10 UNLESS NOTED.
PROVIDE SMOKE ALARMS & CO2 DETECTORS.

NOTE: B.C.L.C TO VERIFY PLACEMENT AND SITING OF ALL STRUCTURES ON LOT.
GENERAL CONTRACTOR TO WORK IN CONJUNCTION WITH B.C.L.C TO ENSURE PROPER PLACEMENT OF STRUCTURES ON SITE PRIOR TO STARTING WORK.
BUILDING DESIGNER NOT RESPONSIBLE FOR ANY ENCROACHMENTS OF ANY KIND WITH REGARD TO SITING OR PLACEMENT OF STRUCTURES ON LOT. THE OWNER OF THE BUILDING SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY.

STRUCTURAL ENGINEER TO REVIEW PLAN (where required), AND SPECIFY STRUCTURE AS DEEMED NECESSARY. IT IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO VERIFY AND COMMISSION ALL ENGINEERING REQUIREMENTS WITH MUNICIPAL DEPARTMENTS PRIOR TO STARTING WORK.
TRUSS MANUFACTURER TO REVIEW PLANS TO VERIFY ROOF DESIGN WHERE ENG. ROOF TRUSSES ARE SHOWN, AND TO CONTACT BUILDING DESIGNER TO ADVISE IF REVISIONS ARE NECESSARY.

GENERAL NOTES

BEFORE STARTING CONSTRUCTION, THE CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS ON THESE DRAWINGS. AT NO TIME SHALL THE CONTRACTOR OR TRADES, SCALE OFF THESE DRAWINGS BUT SHALL BUILD TO DIMENSIONS SHOWN ONLY AFTER VERIFICATION ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY.
SURVEYOR AND/OR CONTRACTOR TO CONFIRM ALL ASPECTS OF SITING AND PLACEMENT OF STRUCTURE ON LOT. DESIGNER NOT RESPONSIBLE FOR PLACEMENT.
IN THE EVENT THAT THE PROPOSED NEW OR EXISTING STRUCTURE DOES NOT CONFORM TO M.C.C OF CANADA & 2013 B.C. BUILDING CODE A STRUCTURAL ENGINEER MAY BE REQUIRED COMMISSIONED BY OWNER.
ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE B.C. BUILDING CODE, C.S.A., C.G.S.B. AND A.B.C. AS WELL AS ANY LOCAL BUILDING BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.
ALL MATERIALS SHALL BE USED STRICTLY ACCORDING TO MANUFACTURERS PRINTED DIRECTIONS, WHERE NOT INCONSISTANT WITH THIS SPECIFICATION; NO DILUTION PERMITTED EXCEPT WHERE SPECIFIED.
ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BYLAWS WHICH MAY TAKE PRECEDENCE.
DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.

STRUCTURAL DESIGN

STRUCTURAL IS BASED ON CRITERIA STATED IN PART 4 & PART 9 OF THE 2013 B.C. BUILDING CODE AND OTHER APPLICABLE SECTIONS. DESIGN LOADS AS FOLLOWS:
DESIGN MAIN FLOOR LOAD : 40 P.S.F. - 1.92 kN/m²
DESIGN BEDROOM FLOOR LOAD : 60 P.S.F. - 2.87 kN/m²
DESIGN ROOF LOAD : 50 P.S.F. - 2.37 kN/m²

DEMO

FOR ALL RENOVATIONS AND ADDITIONS, CONTRACTORS MUST MAINTAIN STRENGTH AND STABILITY OF EXISTING STRUCTURE; PROVIDE AND INSTALL ALL SHORING AND PROPS TO UPHOLD EXISTING CONSTRUCTION DURING THE DURATION OF ALL WORK. MUST COMPLY WITH PART 8 OF BCBC AND WITH WORKSAFE/ERC.

CONCRETE

ALL CONCRETE FOOTINGS AND FOUNDATIONS TO HAVE SOLID BEARING ON COMPACTED UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION.
IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.
ALL CONCRETE, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN3-A438.
ALL CONCRETE USED FOR FOOTINGS AND FOUNDATION IS TO BE NOT LESS THAN 15MPa @ 28 DAYS UNLESS OTHERWISE NOTED.
ALL CONCRETE USED FOR FLOORS IS TO BE NOT LESS THAN 10 MPa @ 28 DAYS UNLESS OTHERWISE NOTED.
ALL CONCRETE FOR CARPORT, GARAGE FLOORS AND EXTERIOR STEPS TO BE MINIMUM 32 MPa @ 28 DAYS.
EXTERIOR STAIRS AND SLABS ALSO REQUIRE 5-PSI AIR ENTRAINMENT

ROUGH CONSTRUCTION

ALL CONSTRUCTION MATERIALS TO COMPLY WITH THE 'APPROVED' CURRENT ISSUE AND AMENDMENTS OF C.S.A. OF CANADA AND N.B.C.
BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY FASTENING SILL PLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DRAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.
ALL STRUCTURAL FRAMING MEMBERS ARE SIZED FOR STANDARD GRADE NO. 2 BETTER SPRUCE-PINE-FIR (ACCORDANCE WITH N.L.G.A STANDARD GRADING RULES FOR CANADIAN LUMBER)
SPANS TO CONFORM TO THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.
ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.
FRAMING CONTRACTOR IS TO PROVIDE BACKING FOR ALL PLUMBING ACCESSORIES, SHELVING, CURTAIN RODS, CABINETS, ETC.
CONTRACTOR IS RESPONSIBLE FOR THE PROPER SETTING OUT OF ALL WORK AND ENSURE NO ECCENTRIC LOADS OCCUR.

PLUMBING/MECHANICAL

PLUMBING CONTRACTOR IS TO ALLOW FOR (MIN) 2 EXTERIOR HOSE BIBS AT CONVENIENT LOCATIONS
PLUMBING INSTALLATION SHALL COMPLY WITH CURRENT EDITION OF A.C.H.B.C. CANADIAN PLUMBING CODE AND ELECTRICAL CODE.
HOT WATER HEATER MUST BE INSTALLED WITHIN A HEATED AREA OF THE MAIN RESIDENCE OR IN THE LOCATION SHOWN ON PLANS. HOW WATER HEATER MUST BE SECURED TO STRUCTURE WITH METAL STRAPS DESIGNED TO RESIST LATERAL LOADS.
HEATING AND/OR AIR CONDITIONING ARE TO COMPLY WITH A.C.N.B.C. - THE CANADIAN HEATING VENTILATION & AIR CONDITIONING CODE, CURRENT ISSUE.
ALL DUCT SIZES, FANS AND VENTILATION REQUIREMENTS TO BE VERIFIED PRIOR TO INSTALLATION AND TO INSTALL TO MANUFACTURER'S SPECS.
KITCHEN FAN: MINIMUM REQ'D BY B.C.C.2012. SEE B.C.C. TABLE 9.3.3.3 B
47L PER SECOND, 80 CFM INTERMITTENT, 2" EXTERNAL STATIC PRESSURE
DUCT SIZE: 5" SMOOTH, 6" FLEXIBLE, SHALL BE NONCOMBUSTIBLE AND NOT EXCEED 15m.

FLASHING

FLASH OVER ALL EXPOSED OPENINGS, DOOR, WINDOWS, ETC. NOT DIRECTLY PROTECTED BY EAVES
ALL ROOFING SHALL INCORPORATE STEP FLASHING
ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.

ROOFING/TRUSSES

ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM FROM ICE DAMS AND SNOW BUILD UP.
TRUSSES AND LAYOUT TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATION, INCLUDING ALL BRACING.

WINDOWS/DOORS/SKYLIGHTS

ALL WINDOWS, DOOR, AND SKYLIGHTS TO MEET THE REQUIREMENT IN ACCORDANCE TO BCBC 9.7 AND 9.8
ALL WINDOWS, DOORS AND SKYLIGHT TO COMPLY WITH AAMA/WDMA/CSA 101/1.5 2/A440-08

INSULATION AND VAPOUR BARRIER

INSULATION TO BE CONTINUOUS AROUND ALL OPENINGS AND VALUES NOT TO BE DECREASED BELOW REQUIRED LEVELS AT ANY POINT AROUND MAJOR PENETRATION, WALL-FLOOR CONNECTIONS, TRIMMED JOISTS, WINDOWS/DOOR HEADS, BEHIND ELECTRICAL PANEL, AROUND PLUMBING OR DUCTING IN WALLS. REFER TO BCBC 9.36 FOR EXCEPTIONS. REFER TO SECTION.
VAPOUR BARRIERS TO COMPLY WITH BCBC 9.25.4. TAPE ALL SEAMS OF RIGID INSULATION, FILL WITH SPART APPLIED INSULATION AT PERIMETERS TO PREVENT AIR SPACES WHERE REQUIRED. EXTENDED POSITIVE TO COMPLY WITH BCBC 9.4.3. IN TO FULFILL THE REQUIREMENTS OF A VAPOUR BARRIER 6MM POLYETHYLENE VAPOUR BARRIER TO BE INSTALLED UNINTERRUPTED AROUND ALL OPENING, BE STRUCTURALLY SUPPORTED BY BEING ATTACHED TO STUDS, LIGHT FIXTURES, AND PLUGS. CONTRACTOR TO SUPPLY BLOCKING AS REQUIRED.

CARBON MONOXIDE ALARMS

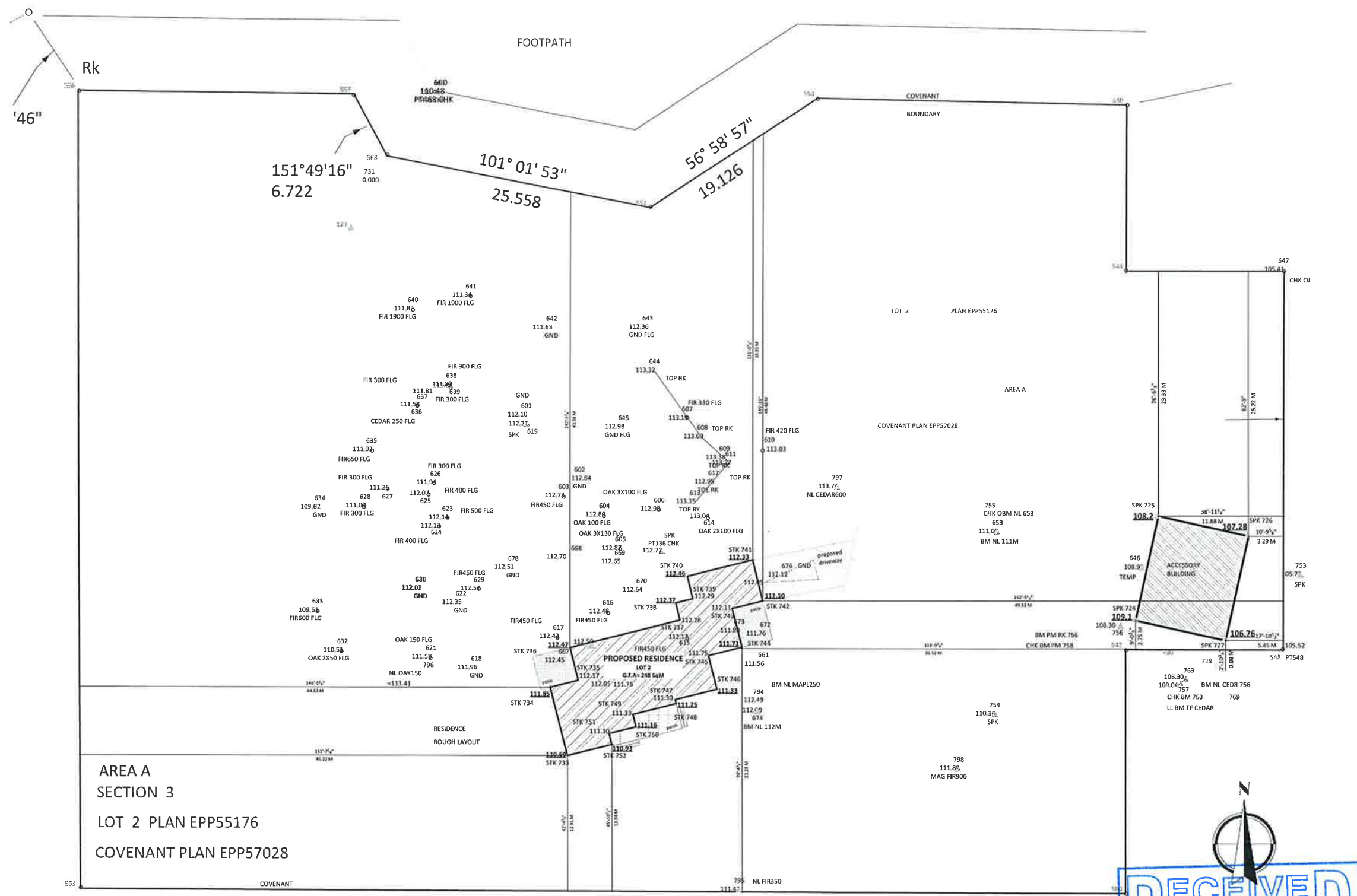
CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS, CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19

THE DESIGNER DOES NOT ACCEPT RESPONSIBILITY FOR THE FOLLOWING:
- INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE
- CONFORMITY OF PLANS TO SITE
- ERRORS AND OMISSIONS
- ANY HOUSE BUILT FROM THESE PLANS.

JASMINE CONSTRUCTION LTD. 4660 Cordova Bay Rd. Victoria, B.C. V8X 3V7

SCALE	as shown	CLIENT	Proposed Residence Larry & Jen Laban
DATE CREATED	June 19, 2018	DRAWING TITLE	SITE PLAN
DRAWN BY	Jasmine Dhanoo	PROJECT	8055 Thompson Place
REV. NOTES			
			51

PH: 250.580.7797 EMAIL: jasmine_dhanoo@jcmconstruction.com



SITE PLAN

scale: 1/16" = 1'0"
 TOTAL FLOOR AREA
 FOR ACCESSORY BUILDING : 1922.22 SqFt

ADDITIONAL NOTES

ANY DEVIATIONS FROM THESE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR WALLS AND FOUNDATION WALLS TO BE FINISH.

ALL WINDOWS TO BE THERMO SEALED DOUBLE PANE.
 ALL WINDOWS MUST COMPLY WITH BCBC AND NAFS REQUIREMENTS
 MUST BE CLEARLY LABELLED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.

ALL ELECTRICAL PENETRATIONS IN EXTERIOR WALLS MUST BE AIRTIGHT BY SEALING THEM TO THE POLY V.B.
 RECESSED POT LIGHT HOUSING MUST BE SEALED TO POLY V.B.
 PLUMBING VENT STACKS PIPES MUST BE MADE AIRTIGHT BY SEALING THE AIR BARRIER TO VENT STACK WITH COMPATIBLE MATERIAL, SHEATHING TAPE, OR A RUBBER GASKET AT THE CEILING.

FLOOR JOISTS AND BEAMS TO BE DESIGNED BY OTHERS
 ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECS.
 ALL LINTELS TO BE 2"x10 UNLESS NOTED.
 PROVIDE SMOKE ALARMS & CO2 DETECTORS.

NOTE: R.C.L.C TO VERIFY PLACEMENT AND SITING OF ALL STRUCTURES ON LOT.
 GENERAL CONTRACTOR TO WORK IN CONJUNCTION WITH B.C.L.S TO ENSURE PROPER PLACEMENT OF STRUCTURES ON SITE PRIOR TO STARTING WORK.
 BUILDING DESIGNER NOT RESPONSIBLE FOR ANY ENCROACHMENTS OF ANY KIND WITH REGARD TO SITING OR PLACEMENT OF STRUCTURES ON LOT. THE OWNER OF THE BUILDING SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY.

STRUCTURAL ENGINEER TO REVIEW PLAN (where required), AND SPECIFY STRUCTURE AS DEEMED NECESSARY. IT IS THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO VERIFY AND COMMISSION ALL ENGINEERING REQUIREMENTS WITH MUNICIPAL DEPARTMENTS PRIOR TO STARTING WORK.
 TRUSS MANUFACTURER TO REVIEW PLANS TO VERIFY ROOF DESIGN WHERE ENG. ROOF TRUSSES ARE SHOWN, AND TO CONTACT BUILDING DESIGNER TO ADVISE IF REVISIONS ARE NECESSARY.

GENERAL NOTES

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 SURVEYOR AND/OR CONTRACTOR TO CONFIRM ALL ASPECTS OF SITING AND PLACEMENT OF STRUCTURE ON LOT. DESIGNER NOT RESPONSIBLE FOR PLACEMENT.
 IN THE EVENT THAT THE PROPOSED NEW OR EXISTING STRUCTURE DOES NOT CONFORM TO N.B.C. OF CANADA & 2012 B.C. BUILDING CODE A STRUCTURAL ENGINEER MAY BE REQUIRED COMMISSIONED BY OWNER.
 ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE B.C. BUILDING CODE, C.S.A. C 5.8 AND N.B.C. AS WELL AS ANY LOCAL BUILDING BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE.
 ALL MATERIALS SHALL BE USED STRICTLY ACCORDING TO MANUFACTURER'S PRINTED DIRECTIONS, WHERE NOT INCONSISTANT WITH THIS SPECIFICATION; NO SUBSTITUTION PERMITTED EXCEPT WHERE SPECIFIED.
 ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BYLAWS WHICH MAY TAKE PRECEDENCE.
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STRUCTURAL DESIGN

STRUCTURAL IS BASED ON CRITERIA STATED IN PART 4 & 8, PART 9 OF THE 2012 B.C. BUILDING CODE AND OTHER APPLICABLE SECTIONS. DESIGN LOADS AS FOLLOWS:
 DESIGN MAIN FLOOR LOAD - 40 P.S.F. - 1.52 kN/m²
 DESIGN BEDROOM FLOOR LOAD - 40 P.S.F. - 1.52 kN/m²
 DESIGN ROOF LOAD - 60 P.S.F. - 2.87 kN/m²

DEMO

FOR ALL RENOVATIONS AND ADDITIONS, CONTRACTORS MUST MAINTAIN STRENGTH AND STABILITY OF EXISTING STRUCTURE; PROVIDE AND INSTALL ALL SHORING AND PROPS TO UNLOAD EXISTING CONSTRUCTION DURING THE DURATION OF ALL WORK. MUST COMPLY WITH PART 8 OF BCBC AND WITH WORKSAFE/FCRC.

CONCRETE

ALL CONCRETE FOOTINGS AND FOUNDATIONS TO HAVE SOLID BEARING ON COMPACTED UNDISTURBED INORGANIC SOIL TO A SUITABLE DEPTH BELOW FROST PENETRATION. IF SOFTER CONDITIONS APPLY, THE SOLID BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER.
 ALL CONCRETE, MIXED, PLACED AND TESTED IN ACCORDANCE WITH CAN9-A438.
 ALL CONCRETE USED FOR FOOTINGS AND FOUNDATION IS TO BE NOT LESS THAN 35MPa @ 28 DAYS UNLESS OTHERWISE NOTED.
 ALL CONCRETE USED FOR FLOORS IS TO BE NOT LESS THAN 20 MPa @ 28 DAYS UNLESS OTHERWISE NOTED.
 ALL CONCRETE FOR CARPORT, GARAGE FLOORS AND EXTERIOR STEPS TO BE MINIMUM 32 MPa @ 28 DAYS.
 EXTERIOR STAIRS AND SLABS ALSO REQUIRE 5-BIN AIR ENTRAINMENT.

ROUGH CONSTRUCTION

ALL CONSTRUCTION MATERIALS TO COMPLY WITH THE 'APPROVED' CURRENT ISSUE AND AMENDMENTS OF C.S.A. OF CANADA AND N.B.C.
 BUILDING FRAMES TO BE ANCHORED TO FOUNDATION BY EXISTING SLAB FLATE TO FOUNDATION WITH NOT LESS THAN 12.7mm DIAM ANCHOR BOLTS AT NOT MORE THAN 2.4M O.C.
 ALL STRUCTURAL FRAMING MEMBERS ARE SIZED FOR STANDARD GRADE NO. 2 BETTER SPRUCE-PINE-FIR (ACCORDANCE WITH N.L.G. A STANDARD GRADING RULES FOR CANADIAN LUMBER).
 SPANS TO CONFORM TO THE NATIONAL BUILDING CODE OF CANADA AND VERIFICATIONS OF ALL SPANS IS THE RESPONSIBILITY OF THE OWNER/BUILDER.
 ALL ENGINEERED BEAMS TO BE SIZED BY SUPPLIER.
 FRAMING CONTRACTOR IS TO PROVIDE BACKING FOR ALL PLUMBING ACCESSORIES, SHELVING, CURTAIN RODS, CABINETS, ETC.
 CONTRACTOR IS RESPONSIBLE FOR THE PROPER SETTING OUT OF ALL WORK AND ENSURE NO ECCENTRIC LOADS OCCUR.

PLUMBING/MECHANICAL

PLUMBING CONTRACTOR IS TO ALLOW FOR (MIN) 2 EXTERIOR HOSE BIBS AT CONVENIENT LOCATIONS.
 PLUMBING INSTALLATION SHALL COMPLY WITH CURRENT EDITION OF A.C.N.B.C. CANADIAN PLUMBING CODE AND ELECTRICAL CODE.
 HOT WATER HEATER MUST BE INSTALLED INSIDE A HEATED AREA OF THE MAIN RESIDENCE OR IN THE LOCATION SHOWN ON PLANS. HOT WATER HEATER MUST BE SECURED TO STRUCTURE WITH METAL STRAPS DESIGNED TO RESIST LATERAL LOADS.
 HEATING AND/OR AIR CONDITIONING ARE TO COMPLY WITH A.C.N.B.C. THE CANADIAN HEATING VENTILATION & AIR CONDITION CODE CURRENT ISSUE.
 ALL DUCT SIZES, FANS AND VENTILATION REQUIREMENTS TO BE VERIFIED PRIOR TO INSTALLATION AND TO INSTALL TO MANUFACTURER'S SPECS.
 KITCHEN FAN: MINIMUM REQ'D BY B.C.B.C. 2012. SEE B.C.B.C. TABLE 9.32.3.3 B 47L PER SECOND, 90 CFM INTERMITTENT, 2" EXTERNAL STATIC PRESSURE.
 DUCT SIZE: 5" SMOOTH, 6" FLEXIBLE, SHALL BE NON-COMBUSTIBLE AND NOT EXCEED 15M.

FLASHING

FLASH OVER ALL EXPOSED OPENINGS, DOOR, WINDOWS, ETC NOT DIRECTLY PROTECTED BY SALES.
 ALL ROOFING SHALL INCORPORATE STEEP FLASHING.
 ALL PENETRATIONS THROUGH ROOF SHALL INCLUDE APPROPRIATE FLASHING.

ROOFING/TRUSSES

ALL ROOFING SHALL BE APPLIED TO MANUFACTURER'S SPECIFICATION AND SHALL INCLUDE EAVE PROTECTION FROM FROM ICE DAMS AND SNOW BUILD UP.
 TRUSSES AND LAYOUT TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATION, INCLUDING ALL BRACINGS.

WINDOWS/DOORS/SKYLIGHTS

ALL WINDOWS, DOOR, AND SKYLIGHTS TO MEET THE REQUIREMENT IN ACCORDANCE TO BCBC 9.7 AND 9.16
 ALL WINDOWS, DOORS, AND SKYLIGHT TO COMPLY WITH AAMA/WOMACSA 101/1.5 2/A440-08.

INSULATION AND VAPOUR BARRIER

INSULATION TO BE CONTINUOUS AROUND ALL OPENINGS AND VALUES NOT TO BE DECREASED BELOW REQUIRED LEVELS AT ANY POINT AROUND MAJOR PENETRATION, WALL-FLOOR CONNECTIONS, TRIMMER JOISTS, WINDOW/DOOR HEADS, BEHIND ELECTRICAL PANEL, AROUND PLUMBING OR DUCTING IN WALLS. REFER TO BCBC 9.36 FOR EXCEPTIONS. REFER TO SECTION.
 VAPOUR BARRIERS TO COMPLY WITH BCBC 9.25.4. TAPE ALL SEAMS OF RIGID INSULATION, FILL WITH SPAN APPLIED INSULATION AT PENETRATIONS TO PREVENT AIR SPACES WHERE REQUIRED.
 EXTRUDED POLYESTER TO COMPLY WITH BCBC 9.2.4.2.4 TO FULFIL THE REQUIREMENTS OF A VAPOUR BARRIER. 6MM POLYETHYLENE VAPOUR BARRIER TO BE INSTALLED UNINTERRUPTED AROUND ALL OPENINGS, BE STRUCTURALLY SUPPORTED BY BEING ATTACHED TO STUDS, LIGHT FIXTURES, AND PLUGS. CONTRACTOR TO SUPPLY BLOCKING AS REQUIRED.

CARBON MONOXIDE ALARMS

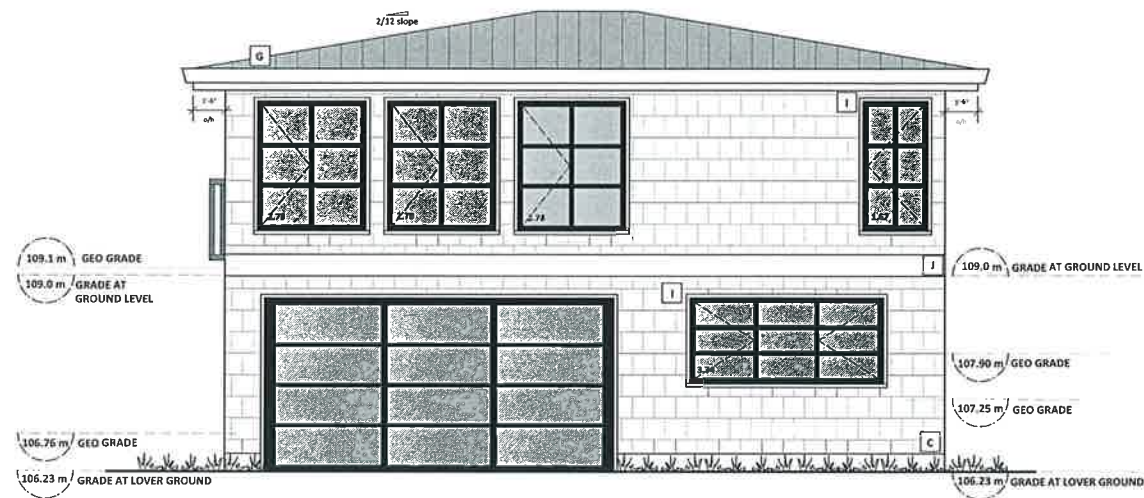
CARBON MONOXIDE ALARMS TO BE HARDWIRED AND WITHIN 5M OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS, CARBON MONOXIDE ALARMS TO CONFORM TO CSA 6.19.

THE DESIGNER DOES NOT ACCEPT RESPONSIBILITY FOR THE FOLLOWING:
 -INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE
 -CONFORMITY OF PLANS TO SITE
 -ERRORS AND OMISSIONS
 -ANY HOUSE BUILT FROM THESE PLANS

JASMINE CONSTRUCTION LTD. 4660 Cordova Bay Rd. Victoria, B.C. V8V 3V7

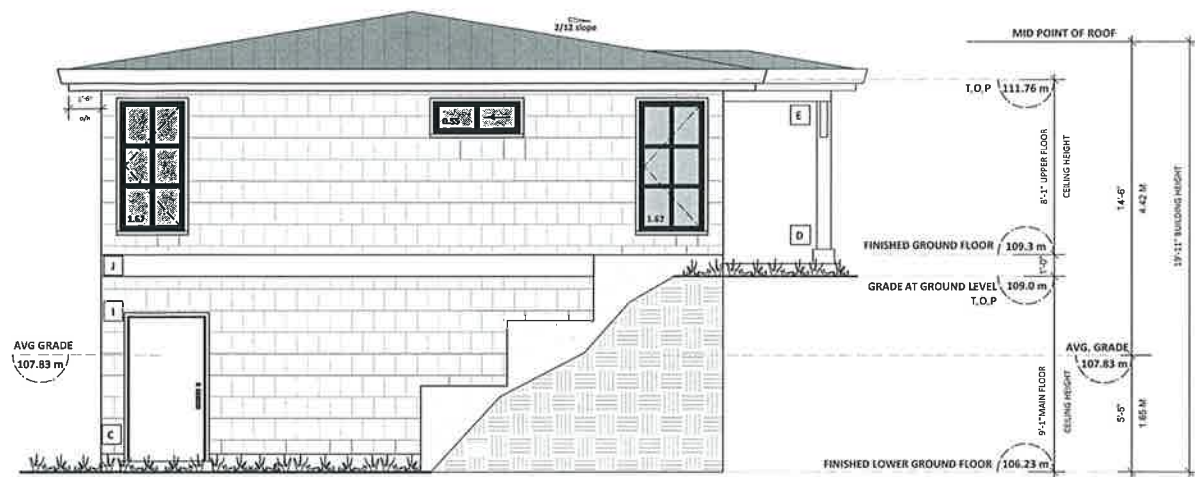
SCALE	as shown	CLIENT	Proposed Residence Larry & Jen Laban
DATE CREATED	June 19, 2018	DRAWN BY	Jasmine Dhanoo
DRAWN BY	Jasmine Dhanoo	PROJECT	8055 Thompson Place
REV NOTES			
			DWG NO. S2

PH: 250.580.7797 EMAIL: jdhanoova@jdhanoova.com



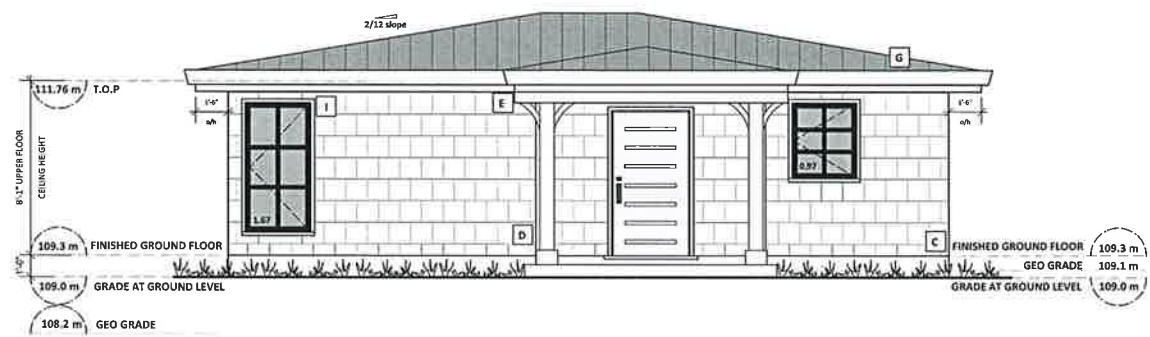
REAR (EAST) ELEVATION

scale 1/4" = 1'-0"



LEFT (NORTH) ELEVATION

scale 1/4" = 1'-0"



FRONT (WEST) ELEVATION

scale 1/4" = 1'-0"



RIGHT (SOUTH) ELEVATION

scale 1/4" = 1'-0"

Exterior Finish Schedule	
A PRE. FIN. METAL FLASHING	G GUTTERS VENTED SOFFITS (by owner)
B WINDOW (GLAZING UNIT FRAME BY CONTRACTOR)	H DOUBLE BARGE BOARD 2X10 w/ 2X4
C Hardi Shingles (painted)	I 1x4 DOOR & WINDOW TRIM (painted)
D 8"X8" WOOD POST	J 2x12 BELLY BAND (painted)
E 6"X6" PORCH BEAM	K 42" MIN HT. GUARD TO COMPLY W/ BC BCG CODE DIVISION B, 9.8.7, AND 9.8.8.
F METAL ROOFING (as per contractors specs) FLASH ALL INTERSECTIONS	

SITE DATA	
RE-1	
ITEMS	PROPOSED
LOT AREA - AREA A	0.777 ha
BUILDING HEIGHT	4.43 M
SETBACKS	
SOUTH (RIGHT)	0.88 M
NORTH (LEFT)	23.33 M
EAST (REAR)	3.29 M
WEST (FRONT)	100.41 M
FLOOR AREA	
GROUND FLOOR	89.29 Sq. M.
GARAGE	89.29 Sq. M.
GROSS FLOOR AREA	178.58 Sq. M.



JASMINE CONSTRUCTION LTD. 4660 Cordova Bay Rd. Victoria, B.C. V8X 3V7			
SCALE	as shown	CLIENT	Proposed Residence
DATE CREATED	April 18, 2018	DRAWN BY	Larry & Jen Laban
DRAWN BY	Jasmine Dhanowa	PROJECT TITLE	ACCESSORY BUILDING ELEVATIONS
REV HOTEL		PROJECT	8055 Thompson Place
		DWG NO.	A1

PH: 250-580-7797 EMAIL: jasmine_dhanowa@hotmail.com

NOTE: ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY STRUCTURAL ENGINEER

DOOR SCHEDULE

- A 3/0 X 6/8 (914 X 2032)
- B 2/10 X 6/8 (864 X 2032)
- C 2/8 X 6/8 (813 X 2032)
- D 2/6 X 6/8 (762 X 2032)
- E 2/4 X 6/8 (711 X 2032)
- F 6/0X6/8 (1828 X2032)
- G 5/0 X 6/8 (1524 X 2032)
- H 4/0 X 6/8 (1219 X 2032)

Wall Legend

- 2" x 6" EXTERIOR WALL
- 2" x 6" INTERIOR WALL
- 2" x 4" INTERIOR WALL
- 8" THK. CONC. FOUNDATION WALL
- 16" x 8" CONC. STRIP FOOTING

- BUILT-UP WD. POST
- BUILT-UP WD. POST TO SUPPORT LOAD FROM ABOVE
- POINT LOAD ON BEAM FROM ABOVE

- Interconnected Smoke & Carbon Monoxide Alarm

- 75 c.f.m. ventilation fan c/w intermittent control

refer to general notes for ducting size (see mech.)

ALL WINDOWS MUST COMPLY WITH BCBC & NAFS REQUIREMENTS MUST BE CLEARLY LABELLED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.

ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6 ALL OTHERS MUST HAVE U-VALUE LESS THAN 1.80 (AS PER TABLE 9.36.2.7.A)

GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RS1 OF 1.1

NOTE: ROOM SIZES NOTED ON FLOOR PLAN ARE FOR REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SIZES AND ARE TO BE USED FOR CONSTRUCTION

FINAL STAIRWELL DIMENSIONS AND LAYOUT MAY DIFFER FROM DESIGN DRAWINGS. CONTRACTOR SHALL CONFIRM LAYOUT AND RISE/RUN RATIOS AFTER FLOOR AND DECK CONSTRUCTIONS.

DOUBLE JOISTS, HEADERS, PLATES AND LINTLE BEAMS AS PER BCBC, STRUCTURAL BEAMS/HANGERS BY OTHERS

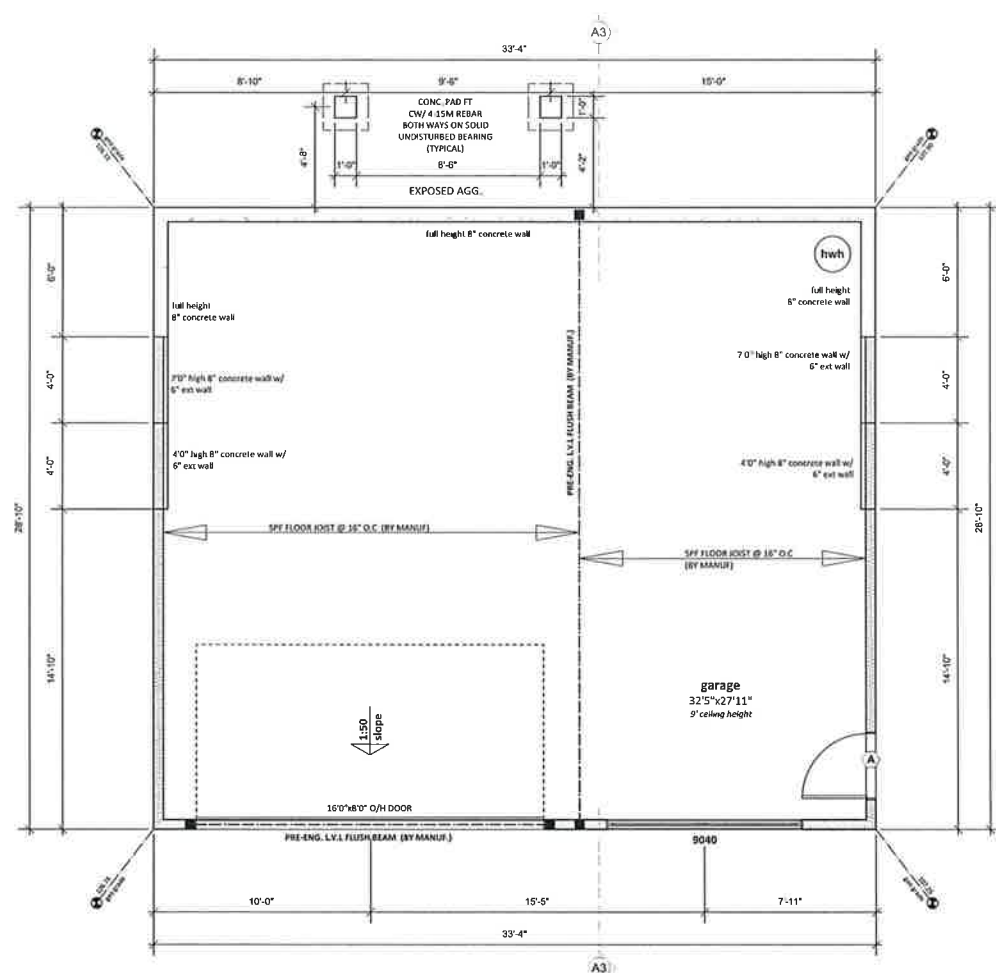
CONTRACTOR TO SOUND-PROOF ALL PLUMBING WALLS AND SUITE W/ SOUND INSULATION (OR APPROVED EQUAL.)

OWNER TO SPECIFY LIGHT, SWITCH AND OUTLET LOCATIONS. CONTRACTOR TO INSTALL PER ELECTRICAL CODE STANDARDS.

OWNER TO SPECIFY TEL., CABLE, SATELLITE, SOUND AND/OR CENTRAL VAC LOCATIONS WITHIN BUILDING

GAS SERVICE NEEDED FOR MAIN FLOOR RANGE AND DECK BBQ. "ROUGH-IN" GAS SERVICES TO FIREPLACE INSERTS ON EACH FLOOR, UTILITY ROOM FURNACE AND HOT WATER TANK.

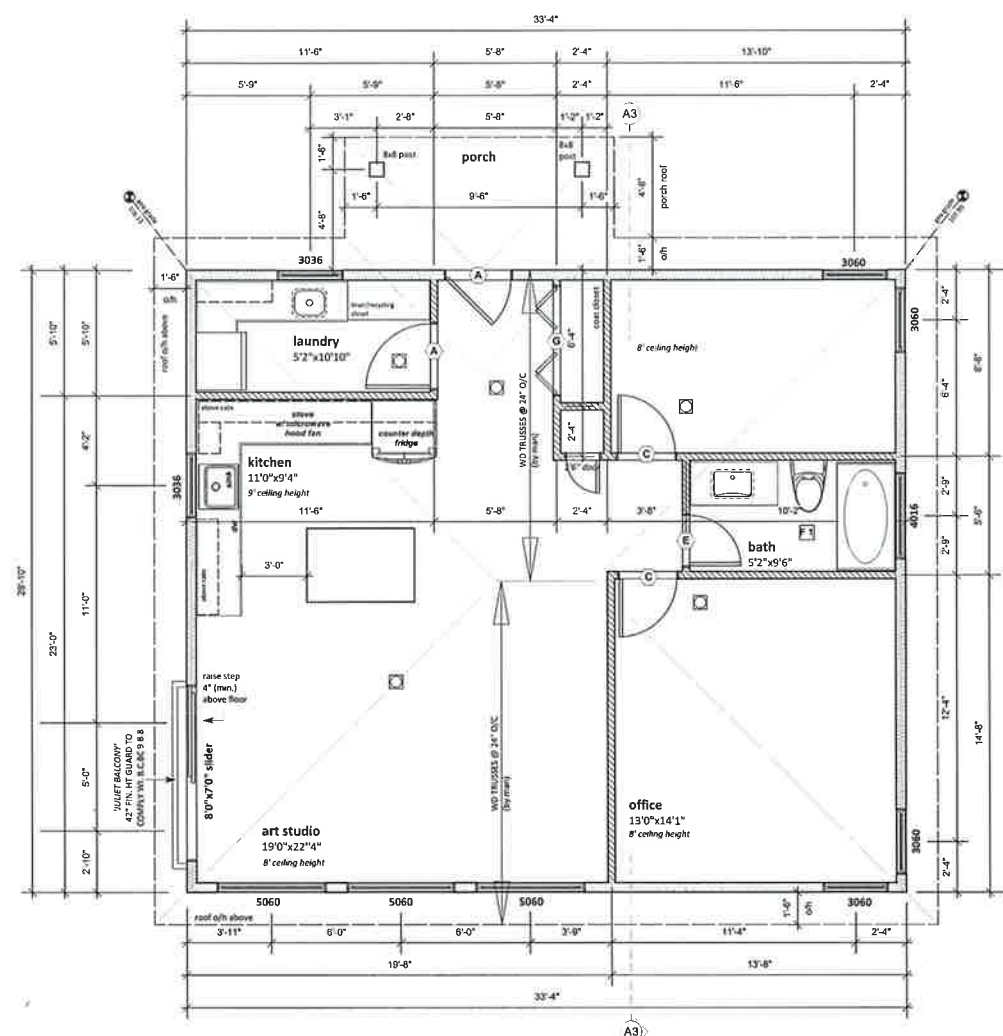
SCALE: as shown		CLIENT: Proposed Residence Larry & Jen Laban	
DATE CREATED: April 18, 2018		DRAWN BY: Jamine Dhanowa	
DRAWN BY: Jamine Dhanowa		PROJECT: 8055 Thompson Place	
REV NOTES:		DWG NO: A2	



LOWER GROUND FLOOR PLAN

scale 1/4" = 1'-0"

GARAGE FLOOR AREA: 961.11 SqFt
89.29 SqM

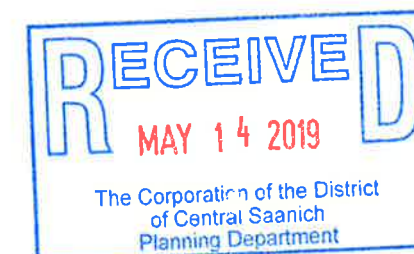


GROUND FLOOR PLAN

scale 1/4" = 1'-0"

GROUND FLOOR AREA: 961.11 SqFt
89.29 SqM

TOTAL FLOOR AREA SqFt: 1922.22 SqFt



Plans designed for Carriage House.

NOTE: ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY STRUCTURAL ENGINEER

DOOR SCHEDULE

- A 3/0 X 6/8 (914 X 2032)
- B 2/10 X 6/8 (864 X 2032)
- C 2/8 X 6/8 (813 X 2032)
- D 2/6 X 6/8 (762 X 2032)
- E 2/4 X 6/8 (711 X 2032)
- F 6/0X6/8 (1828 X2032)
- G 5/0 X 6/8 (1524 X 2032)
- H 4/0 X 6/8 (1219 X 2032)

Wall Legend

- 2" x 6" EXTERIOR WALL
- 2" x 6" INTERIOR WALL
- 2" x 4" INTERIOR WALL
- 8" THK. CONC. FOUNDATION WALL
- 16" x 8" CONC. STRIP FOOTING

- BUILT-UP WD. POST
- BUILT-UP WD. POST TO SUPPORT LOAD FROM ABOVE
- POINT LOAD ON BEAM FROM ABOVE

- Interconnected Smoke & Carbon Monoxide Alarm
- 75 c.f.m. ventilation fan c/w intermittent control

refer to general notes for ducting size (see mech.)

ALL WINDOWS MUST COMPLY WI BCBC & NAFS REQUIREMENTS MUST BE CLEARLY LABELLED ON ALL UNITS UPON INSTALLATION FOR INSPECTION.

ONE EXTERIOR DOOR IS PERMITTED TO HAVE A HIGHER U-VALUE OF 2.6 ALL OTHERS MUST HAVE U-VALUE LESS THAN 1.80 (AS PER TABLE 9.36.2.7.A)

GARAGE VEHICULAR DOORS MUST BE MINIMUM NOMINAL RS1 OF 1.1

NOTE: ROOM SIZES NOTED ON FLOOR PLAN ARE FOR REFERENCE PURPOSES ONLY AND NOT TO BE USED FOR CONSTRUCTION. DIMENSIONS TAKE PRECEDENCE OVER SIZES AND ARE TO BE USED FOR CONSTRUCTION

FINAL STAIRWELL DIMENSIONS AND LAYOUT MAY DIFFER FROM DESIGN DRAWINGS. CONTRACTOR SHALL CONFIRM LAYOUT AND RISE/RUN RATIOS AFTER FLOOR AND DECK CONSTRUCTIONS.

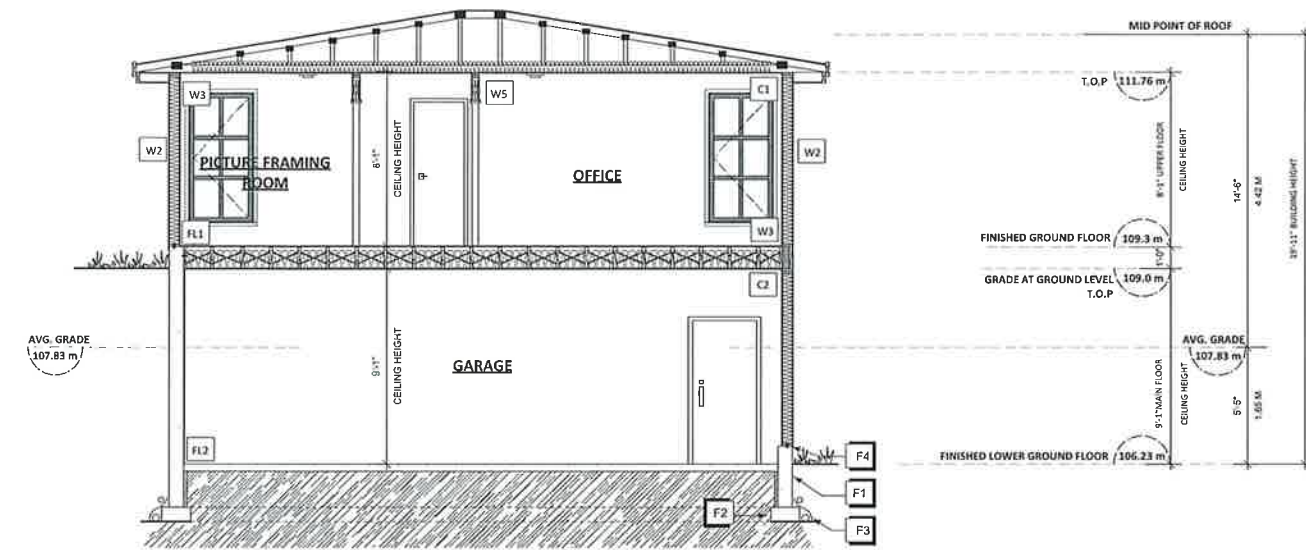
DOUBLE JOISTS, HEADERS, PLATES AND LINTLE BEAMS AS PER BCBC, STRUCTURAL BEAMS/HANGERS BY OTHERS

CONTRACTOR TO SOUND-PROOF ALL PLUMBING WALLS AND SUITE W/ SOUND INSULATION (OR APPROVED EQUAL.)

OWNER TO SPECIFY LIGHT, SWITCH AND OUTLET LOCATIONS. CONTRACTOR TO INSTALL PER ELECTRICAL CODE STANDARDS.

OWNER TO SPECIFY TEL., CABLE, SATELLITE, SOUND AND/OR CENTRAL VAC LOCATIONS WITHIN BUILDING

GAS SERVICE NEEDED FOR MAIN FLOOR RANGE AND DECK BBQ. "ROUGH-IN" GAS SERVICES TO FIREPLACE INSERTS ON EACH FLOOR, UTILITY ROOM FURNACE AND HOT WATER TANK.



SECTION

scale: 1/4" = 1'-0"

SECTION NOTES

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY A STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR BRACED WALL PANELS TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C BUILDING CODE 2012 9.23.12.2 AND SUPPLY DETAILS IF REQUIRED

Foundation Walls

- F1. DAMPPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" O/C R/W ON UNDISTURBED SOIL (SOLID BEARING) THERMAL BREAK 50% OF THE REQUIRED INSULATION THICKNESS
- F2. 16"x 8" CONC. FOOTINGS C/W 2 #4 BARS CONT 3" FROM BOTT ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4'-0" O/C MAX C/W SILL GASKETS
- F5. R-12 RIGID INSULATION FOR 3'-0" CONT. AROUND PERIMETER (under slab where less than 3'-0" below grade where required/ ensure continuity of insulation as per BCBC 9.36.2.5 [2])
- F6. R-12 RIGID INSULATION AROUND PERIMETER (ensure continuity of insulation)
- F7. STEP DOWN TO GARAGE SLAB MAY VARY VERIFY EXTENT ON SITE (not shown in section)

Roofs & Ceilings

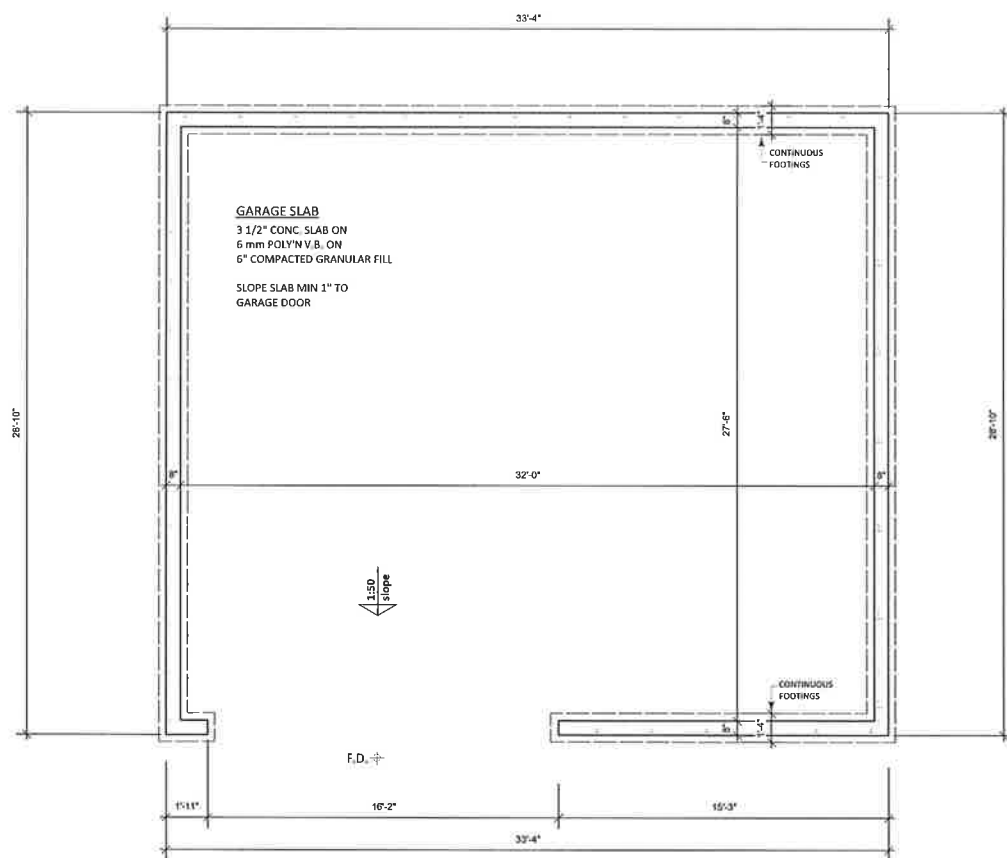
- R1. 2 PLY TORCH ON ROOFING ON 1/2" PLYWOOD OR EQUAL ON 2"x4" STRAPPING ON WD TRUSSES (DESIGNED BY MANUF.) R40 INSULATION 6 mm POLY'N V.B 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" CLEAR BETWEEN R40 INSULATION AND SHEATHING (min. R20 @ roof-wall connection)
- R3. PRE-FIN FASCIA GUTTER 2"x8" FASCIA BD ON 2"x12" FASCIA BD WI 2"x4" FASCIA BD VENTED SOFFIT (see contractor)
- R4. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R5. PROVIDE 1 SQ.FT. ROOF VENT PER 300 SQ.FT. MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM
- C1. 5/8" GYPSUM BOARD ON 6mm POLY'N V.B ON C/W R40 F/G BATT INSUL'N U/S OF WD TRUSSES (by manuf.)
- C2. 5/8" X-TYPE GYPSUM BOARD ON U/S OF FLOOR JOIST C/W R29 F/G INSUL'N IN JOIST CAVITY (above garage)

Walls

- W1. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2'2"x10" LINTEL OVER (@ bearing walls only) (TYPICAL, wl. R10 F/G BATT INSUL'N) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) ALL WINDOWS/DOORS TO COMPLY WITH B.C. BLDG CODE 2012 9.7 & AAMA/WDMA/CSA 101/LS 2/4400. NAFS REQ. RATINGS MUST BE CLEARLY LABELLED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION
- W2. EXTERIOR CLADDING ON 19mm (3/4") AIR SPACE/ PRESSURE TREATED WOOD STRAPPING ON 2 LAYERS 30MIN BUILDING PAPER ON 1/2" PLYWOOD SHEATHING OR EQ. ON 2"x6" STUDS @ 16" O/C
- W3. 1/2" GYPSUM BOARD ON 6mm POLY'N V.B C/W R20 INSULATION
- W4. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2"x4" STUDS @ 16" O/C OR 2"x6" STUDS @ 16" O/C (if noted)

Floors

- FL1. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2x12 SP FLOOR JOISTS @ 16" OR 12" O/C C/W 2x2 X-BRIDGING @ 7'-0" O/C (MAX) R28 INSULATION 6mm POLY'N VAPOUR BARRIER 5/8" X-TYPE GYPSUM BOARD (between garage and living space)
- FL2. 3 1/2" CONCRETE SLAB 6mm POLY'N V.B 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"



FOUNDATION PLAN

scale 1/4" = 1'-0"



JASMINE CONSTRUCTION LTD. 4660 Cordova Bay Rd. Victoria, B.C V8X 3V7	
SCALE: as shown	CLIENT: Proposed Residence
DATE CREATED: April 18, 2018	DESIGNER: Larry & Jen Laban
DRAWN BY: Jamine Dhanowa	PROJECT: ACCESSORY FOUNDATION PLAN & SECTION
REV NOTES:	DWG NO: A3

PH: 250.580.7977 EMAIL: jamine_dhanowa@hotmail.com