



# Corporation of the District of Central Saanich

## NOTICE OF PUBLIC HEARING

**NOTICE** is hereby given of a PUBLIC HEARING to take place on **TUESDAY, JULY 31, 2018 at 6:30PM**, at the Central Saanich Municipal Hall, 1903 Mt. Newton Cross Road, Saanichton, BC, with regard to the following proposed Bylaws to amend OFFICIAL COMMUNITY PLAN BYLAW NO. 1600, 2008, LAND USE BYLAW NO. 1309, 1999, and with regard to a proposed Development Permit with Variances.

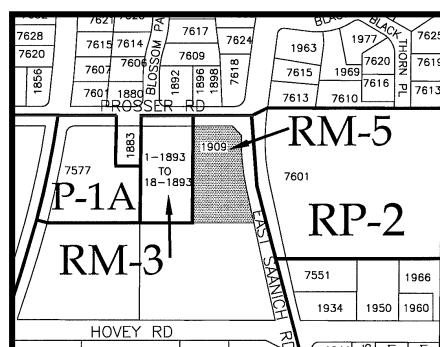
### **CENTRAL SAANICH LAND USE BYLAW AMENDMENT BYLAW NO. 1944, 2018 (1909 PROSSER RD)**

In general terms, the purpose of the proposed Bylaw is to amend maps in Central Saanich Official Community Plan 1600, 2008 by amending Schedule "A" to Appendix "1" (Land Use Plan) for the property at 1909 Prosser Road, legally described as LOT B SECTION 7 RANGE 2 EAST SOUTH SAANICH DISTRICT PLAN VIP77742 PID 026-073-005, from Residential to Multi-Family Residential, and to amend Schedule "D" to Appendix "1" (Development Permit Areas) by designating the property at 1909 Prosser Road, legally described as LOT B SECTION 7 RANGE 2 EAST SOUTH SAANICH DISTRICT PLAN VIP77742 PID 026-073-005 as a Multi-Family Residential Development Permit Area.

### **CENTRAL SAANICH LAND USE BYLAW AMENDMENT BYLAW NO. 1945, 2018 (1909 PROSSER RD)**

In general terms, the purpose of the proposed Bylaw is to amend text in Central Saanich Land Use Bylaw No. 1309, 1999 by inserting in Part 5, Section 38 Zone regulations a new subsection (38A) Residential Apartment: RM-5 and by amending Schedule "1" (Zoning Map) of Appendix "A" of Central Saanich Land Use Bylaw No. 1309, 1999 for the property at 1909 Prosser Road, legally described as LOT B SECTION 7 RANGE 2 EAST SOUTH SAANICH DISTRICT PLAN VIP77742 PID 026-073-005, by changing the zoning designation of the lot, shown shaded on the map, from Agriculture (A-1) to Residential Apartment: (RM-5).

Bylaw Nos. 1944 and 1945, 2018 - Subject Property



The intent of the proposed bylaw amendments is to permit the development of the subject property with a 4-storey market rental apartment building, and a 5-storey affordable housing apartment building (Greater Victoria Housing Society).

### **Development Permit with Variances**

Development variances are also being requested in conjunction with the proposed subdivision and development of 1909 Prosser Road for variations to setbacks and off street parking for both lots. As well, a variance is sought for a reduction of bicycle parking for Lot 2 and to reduce the dimensions of bicycle lockers.

A copy of the proposed Bylaws, Development Permit with Variances, Land Use Bylaw No. 1309, 1999, Official Community Plan Bylaw 1600, 2008, staff reports, and other related information that may be considered by Council may be inspected at the Central Saanich Municipal Hall, 1903 Mt. Newton Cross Road, Saanichton, BC, between 8:30 a.m. and 4:30 p.m., Monday to Friday, excluding holidays, from the date of this notice to 4:30 p.m., **July 31, 2018** inclusive. All persons who consider they are affected by the proposed Bylaw shall be afforded an opportunity to be heard at the Public Hearing, either in person, by representative, or by written submission, on all matters contained in the proposed Bylaw at the above mentioned time, date and place. The entire content of all submissions will be made public and form a part of the public record for this matter.

*No representations will be received by Council after the Public Hearing has been concluded.*

Dated at Saanichton, BC, this 12<sup>th</sup> day of July, 2018  
Jarret Matanowitsch, mcip  
Director of Planning & Building Services